



Your Inspection Report

222 Somewhere Rd
Saint John, NB E2J 1J5



PREPARED FOR:
SAMPLE REPORT

INSPECTION DATE:
Monday, December 4, 2023

PREPARED BY:
Jonathan Gogan



East Coast Home Inspection Ltd
38 McManus Street
Hampton, NB E5N 7N5

(506) 651-9461
www.theinspectors.ca
jonathan@theinspectors.ca

WE JUST WANT TO
**SAY A GREAT
BIG
THANK YOU!**



Your Home Is Our Business



December 19, 2023

Dear Sample Report,

RE: Report No. 3517
222 Somewhere Rd
Saint John, NB
E2J 1J5

Thank you very much for choosing East Coast Home Inspection Ltd to perform your home inspection. We are sensitive to the fact the real estate buying-selling process can be exciting, but an emotional time. Knowing that, first and foremost, we would like to make sure that you have the fullest understanding of the inner-workings of the home. The inspection itself and the attached report comply with the requirements of the Canadian Association of Home and Property Inspectors (CAHPI), which can be sourced on <https://www.cahpi.ca> website as well as www.theinspectors.ca, where it defines the scope and expectations of a typical home inspection.

IMPORTANT: The Summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report. The entire Inspection Report, including the Standards of Practice, Limitations and Scope of Inspection, and Inspection Agreement must be carefully read to fully assess the findings of the inspection. This list is not intended to determine which items may need to be addressed per the contractual requirements of the sale of the property. Any areas of uncertainty regarding the contract should be clarified by consulting an legal expert, real estate agent or contact the inspector.

UPON RECEIPT of this report, and before the inspection objection deadline, IT IS STRONGLY RECOMMENDED that you have each reported concern and the entire system FURTHER EVALUATED for additional concerns that may be outside of the scope of the inspection. Further evaluation is recommended to provide you with the appropriate opinion of remedy and/or repair. Further evaluation and/or services should be performed by appropriate, unbiased, insured contractors/specialists performing within the scope and capacity of their service such as but not limited to, a Professional Engineer, an Industrial / Environmental Hygienist, HVAC Technicians, Roofing Contractors, Plumbers, Electricians, Chimney / Fireplace Contractors, Stucco / Masonry Contractors, Window Contractors, Radon Mitigation Contractors, Pest / Rodent / Insect Control Contractors, Odor & VOC Inspection/Testing/Removal Contractors, Local Jurisdictions/Building Departments, Utility Service Providers, and/or Manufacturers, etc.

As agreed, East Coast Home Inspection Ltd DO NOT INCLUDE PARTIAL INSPECTION SERVICES, such as but not limited to, site visits/revisits to inspect due to Inclement Weather, Weather Damage, Seller's Negotiations, Seller's Work Performed and/or Work Performed by other Service Contractors and/or Service Providers prior to or after the confirmed/scheduled Home Inspection Date/Time. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service. Please call our office for any clarifications or further questions

Reading Your Report:

Please read the entire report. Items of importance and issues needing repair are in the summary section, but helpful information, detailed pictures, and other information are in the "body" of the report. The body may even contain some helpful things to monitor or keep an eye on, which may not be an issue currently, but would benefit from homeowner vigilance.

As items are noted for repair, further evaluation, replace etc. The inspector recommends that a specialist is used in the further inspection or repair issues as it relates to the section and comments in this inspection report. This will also allow for accurate cost estimates and any additional repairs that may be associated with the noted item that only a specialist could determine upon further inspection. The inspector also recommends that all notes items are completed prior to close of sale of the property.

This inspection and this report, at their core purpose, are to find MAJOR defects and issues within the home. Cosmetic issues (paint, staining, nicks, non-structural cracks) are not part of the inspection and will NOT be included in the report. The inspector, however, may choose to point out a few of those things while on site, as a courtesy.

Many of the notes in the report will contain active internet (blue) links to 'more information' on a specific issue or system within the house.

While it may not be mentioned in the report, there are likely MANY things that are RIGHT with the home. The purpose of this report is to isolate the defects and issues within the home, helping the home buyer become educated and getting them into a repaired and healthy home.

Report Distribution

The report itself is copyrighted, and may not be used in whole or in part without our express written permission by East Coast Home Inspection Ltd.

In most cases, a copy of the report is provided on site with a branded thumb drive. The final report or eCopy of the report, which is emailed post inspection, will be considered the final copy and referred to as The Inspection Report. All Communication/Reference/Concerns and Matters will only reference and refer to The Inspection Report which was emailed post inspection.

The Client controls the distribution of all inspection reports and authorizes the East Coast Home Inspection to release copies of the report or summary to the following: CLIENT/CLIENT'S REAL ESTATE & AGENT/CLIENT'S ATTORNEY.

Sincerely,

Jonathan Gogan
on behalf of
East Coast Home Inspection Ltd

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A SUMMARY OF THE INSPECTION

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Report No. 3517

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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

INTRODUCTION

The site conditions at the time of the inspection are documented in the section of the report titled Site Info. This can be found at the end of the report

UNDERSTANDING DIRECTIONAL COMMENTS

We will describe the locations of the property, left or right, as though viewing it facing the front door.

PHOTOS IN THE REPORT

We may choose to include photos and/or diagrams in your inspection report. There are times when only a picture can fully explain the condition. Photo inclusion is at the discretion of the inspector and in no way is meant to emphasize or highlight the only conditions that were seen. We always recommend a full review of the entire inspection report.

SCOPE & LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the property, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based on his visual impressions of the conditions that existed at the time and date of the inspection only. The inspection and report are not intended to be technically exhaustive or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, the opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The inspection is performed in compliance with the current version of the Canadian Association of Home and Property Inspectors (CAHPI), a copy of which is available at the following websites: <https://www.cahpi.ca> & <https://www.theinspectors.ca>

Systems and conditions which are not within the scope of the inspection include, but are not limited to: formaldehyde, lead paint, asbestos, mould or methamphetamine contamination, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non-governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

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Roofing

SLOPED ROOFING \ General notes

Condition: • Not visible

95% of the roof was not visible due to heavy snow fall | Small areas were visible to estimate age and condition | Severe limitation

Location: Throughout Roof

Task: Request Disclosure from Seller

Time: Prior to closing of your contingency period

Exterior

WALLS \ Trim

Condition: • [Missing](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Areas of the Exterior Walls

Task: Repair or Replace

Time: As needed



WALLS \ Vinyl siding

Condition: • There was a section of the siding that was pulling away from the main structure. This can allow for conditions conducive of moisture intrusion that can damage the underlying structural materials and interior finished surfaces. Recommend repair by a specialist.

Location: Exterior Wall

Task: Service General Repair

Time: As soon as practical

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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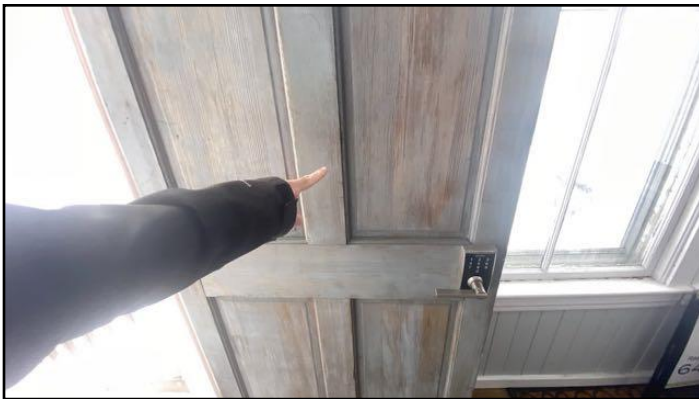
DOORS \ General notes

Condition: • Exterior door is not an exterior door type | Recommend upgrading as needed

Location: Front Exterior Porch Door

Task: Recommend Upgrade to Current Standard

Time: As needed



Structure

FOUNDATIONS \ General notes

Condition: • [In our opinion, the cracks do not currently affect the serviceability of the structure, however, if present, even minor cracks can permit water entry into the home.](#) In that regard, the client should ensure that positive drainage exists around the perimeter of the home and that no downspouts discharge water near the foundation walls. In addition, the client may wish to seal or repair these cracks prior to occupancy to reduce the potential for water infiltration into the home. The inspector is at the home for a limited time and cannot predict future activity from weather or soil. Current technology permits cost-effective repairs of foundations from the interior as well as the exterior of the home. Inspector recommends a further evaluation from a specialist to provide a more detailed evaluation and cost and type of the repair needed

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

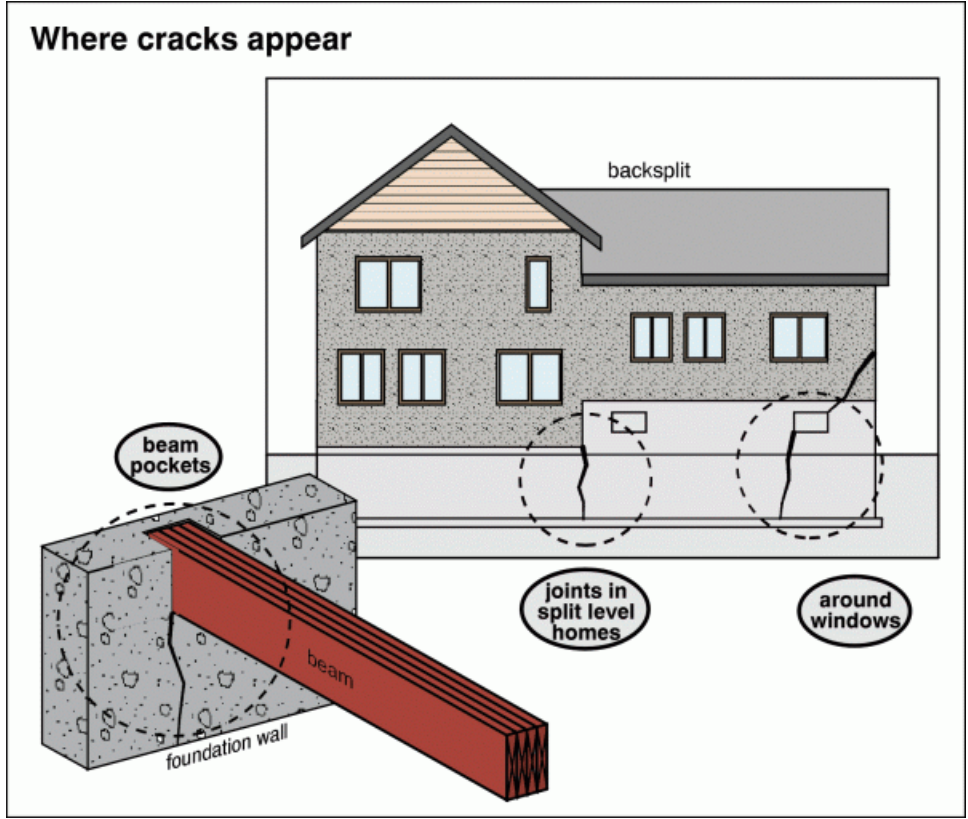
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Implication(s): Vulnerability to water/moisture entry in the home

Location: Left and Rear Side Exterior Foundation

Task: Repair

Time: As needed



A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Crack repair - epoxy and polyurethane injection

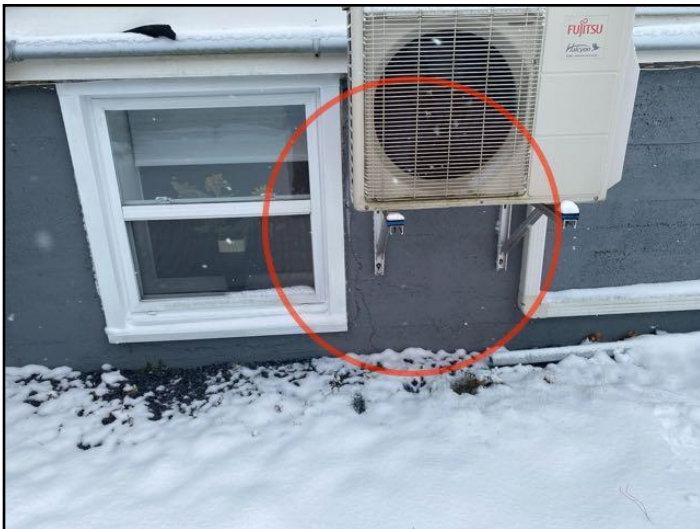
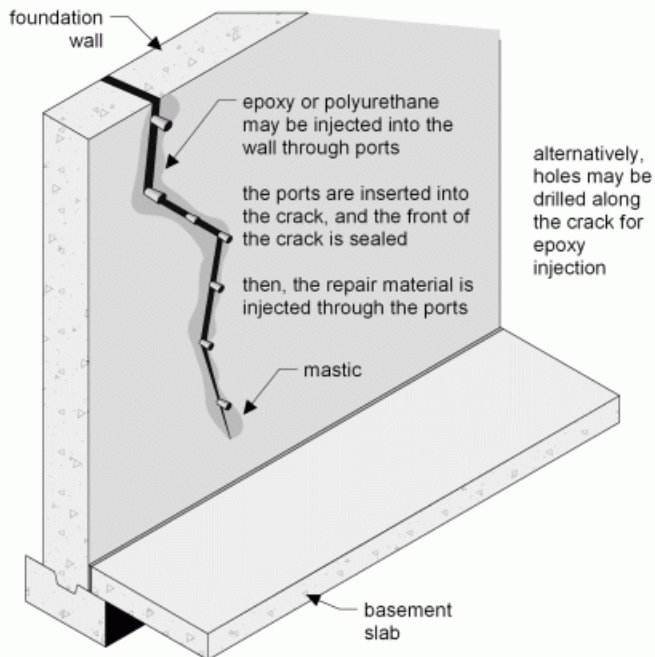
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



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222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Electrical

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • The Circuit Directory label identifying individual electrical circuits was missing from the service panel cabinet. The service panel should contain a clearly-marked label identifying individual circuits so that in an emergency, individual circuits can be quickly shut off.

Implication(s): Nuisance

Location: Basement Panel

Task: Provide

Time: As needed



SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

Condition: • There are breakers within the main electrical panel are doubled up (referred to as a "double tap"). A double tap is when two circuit wires are connected to only one breaker. The circuits should be separated so that each circuit is serviced by its own circuit breaker. A specialist should be consulted to make the necessary corrections.

Implication(s): Fire hazard

Location: 100 amp panel | Rear Stairs

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

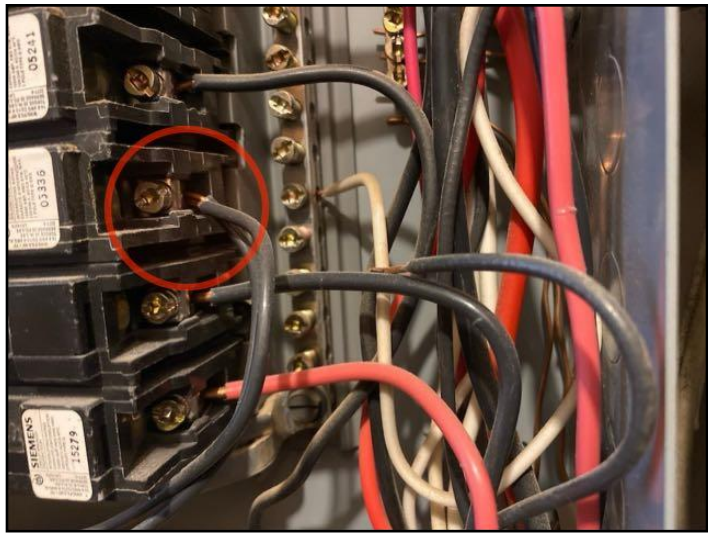
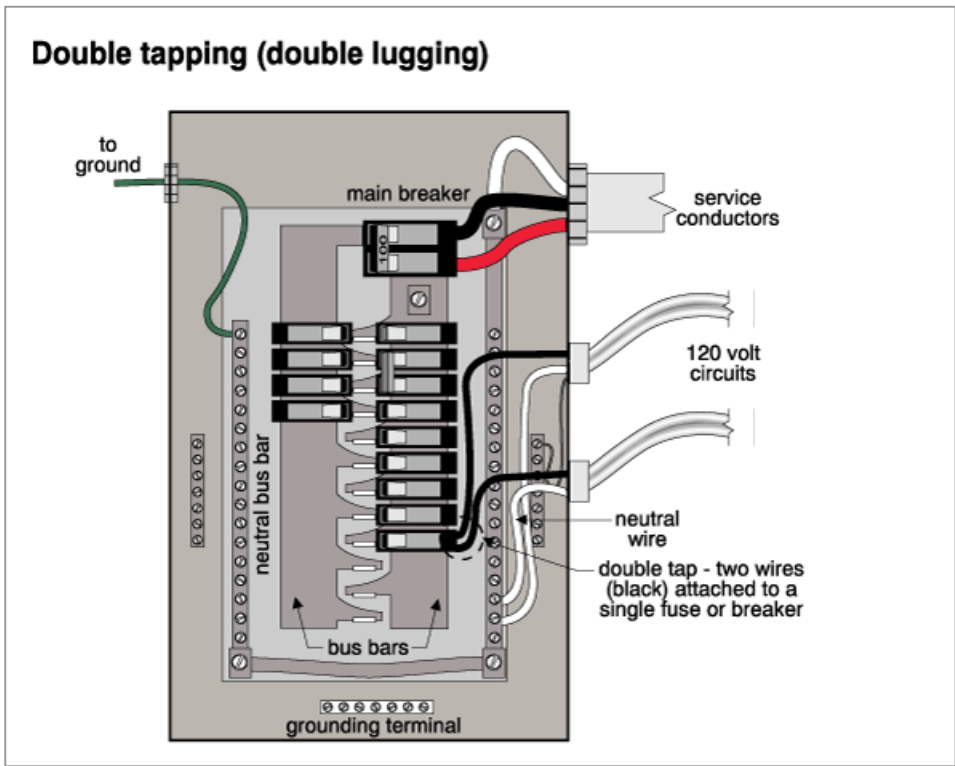
Report No. 3517

www.theinspectors.ca

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Task: Correct

Time: As soon as practical



SERVICE BOX, GROUNDING AND PANEL \ Panel wires

Condition: • [Not well secured](#)

Wires can fray and electrify the panel

Implication(s): Fire hazard | Electric shock

Location: 100amp Panel

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Task: Correct

Time: As soon as practical



DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Although not required when the home was built it is today considered a standard safety feature. Missing GFCI-protection at the kitchen counter receptacles. All of the countertop receptacles should be upgraded to have ground fault GFCI protection, which is mandated by current standards and is an important safety feature. GFCIs are one of the most important safety devices found in a home and should be installed in normally wet locations, i.e. bathrooms, kitchens, outdoor receptacles, garages, unfinished basements or crawlspaces, whirlpools; hot tubs or pools, etc. They should be tested regularly by operating the test button on the unit. Any GFCI unit failing this test should be replaced by a specialist. Consult a specialist for appropriate locations and for installation of devices.

Main floor Outlet white is projected | Outlet red is not

Implication(s): Fire hazard | Reduced electrical safety

Location: Kitchen Counter Outlets

Task: Recommend upgrade to current standard

A SUMMARY OF THE INSPECTION

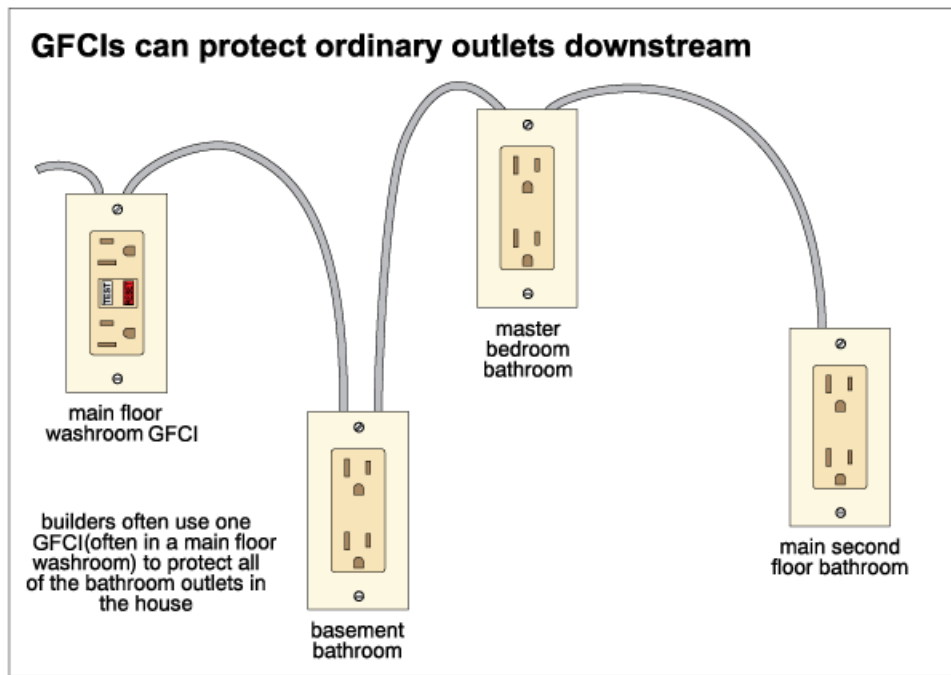
222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Time: As soon as practical



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • [Where to install Smoke Detectors](#)

Missing and or expired smoke detectors. Recommend providing as per current fire safety standards and best practices. Smoke alarms must

be installed in each bedroom, adjacent hallways, each living area level, and basements. Smoke alarms are available in models that are battery-powered, long-life battery equipped, or 'dual powered' hardwired with an option of battery backup. Smart detectors offer additional features through a companion smartphone app. Features include smartphone alerts about smoke/CO (even when you're not home) and low batteries, as well as the ability to hush alarms from your phone. Some models connect to the internet via WiFi, while others require an additional bridge or hub, which are standalone devices that connect smart home devices to the internet

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Location: Where Needed | Where Required

Task: Provide

Time: As soon as practical



Heating

SPACE HEATER \ Electric baseboard heater/space heater

Condition: • [Inoperative heaters](#)

Listing agent disclosed | Inoperable not connected will be for closing

Implication(s): No heat for building

Location: Second Floor Bedrooms

Task: Repair

Time: Prior to closing of your contingency period

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Plumbing

SUPPLY PLUMBING \ Water supply piping in building

Condition: • [Poor support](#)

Tub and shower plumbing and faucet were loose

Implication(s): Leakage | Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Repair

Time: As soon as practical



Condition: • Kitec has been the subject of a national class action lawsuit involving certain polybutylene plumbing systems and polybutylene yard service lines installed between 1995 through 2007. Some insurance companies have been known to request removal or disconnection of this plumbing prior to just after possession of the home.

Kitec plumbing noted at the basement

Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced water pressure and volume

Location: Plumbing System

Task: Further Evaluation by a Specialist

Time: Prior to closing of your contingency period

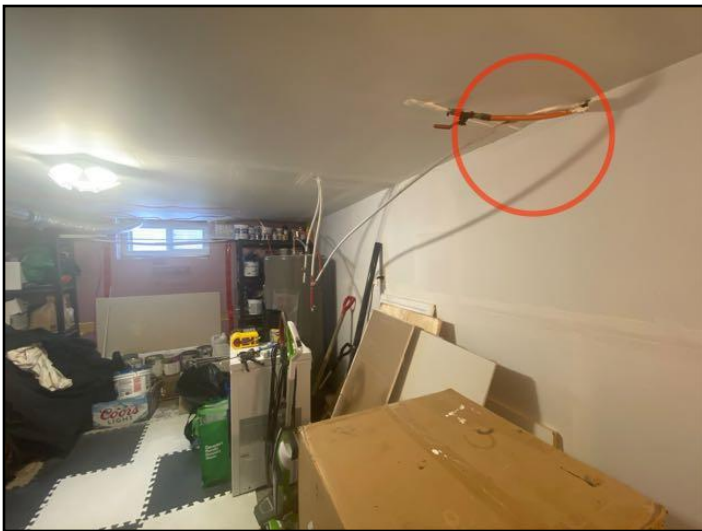
A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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WASTE PLUMBING \ Drain piping - installation

Condition: • Galvanized waste plumbing | Recommend replacing with current standard abs piping | Galvanized plumbing can rust and corrode from the inside

Implication(s): Leaking unpredictable | damage to interior and property

Location: Plumbing System

Task: Recommend Upgrade to Current Standard

Time: As needed



FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

Location: Rear Exterior Wall

Task: Repair or Replace

Time: As needed

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222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Interior

WINDOWS \ Glass (glazing)

Condition: • Condensation between the glass thermal pane indicates that the seal has failed. Insulating performance may not suffer significantly but repair or replacement of the failed unit will likely be necessary to clear up the condensation and return the unit to its intended efficiency.

Right Side Second Floor Bedroom | First floor living room

Location: Various Windows

Task: Repair or Replace

Time: As needed



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222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

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WINDOWS \ Sashes

Condition: • Sashes did not fully seat into the sill | This will not allow the locks to operate and leaves minor air / heat loss

Location: Various | First floor bathroom - Living room

Task: Repair or Replace

Time: As needed



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Report No. 3517

www.theinspectors.ca

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WINDOWS \ Hardware

Condition: • [Broken](#)

Implication(s): System inoperative or difficult to operate

Location: Front First Floor Living Room

Task: Repair or Replace

Time: As needed

A SUMMARY OF THE INSPECTION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

- A SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO
- RADON
- INFRA-RED
- MORE INFO
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WINDOWS \ Means of egress/escape

Condition: • [Too small](#)

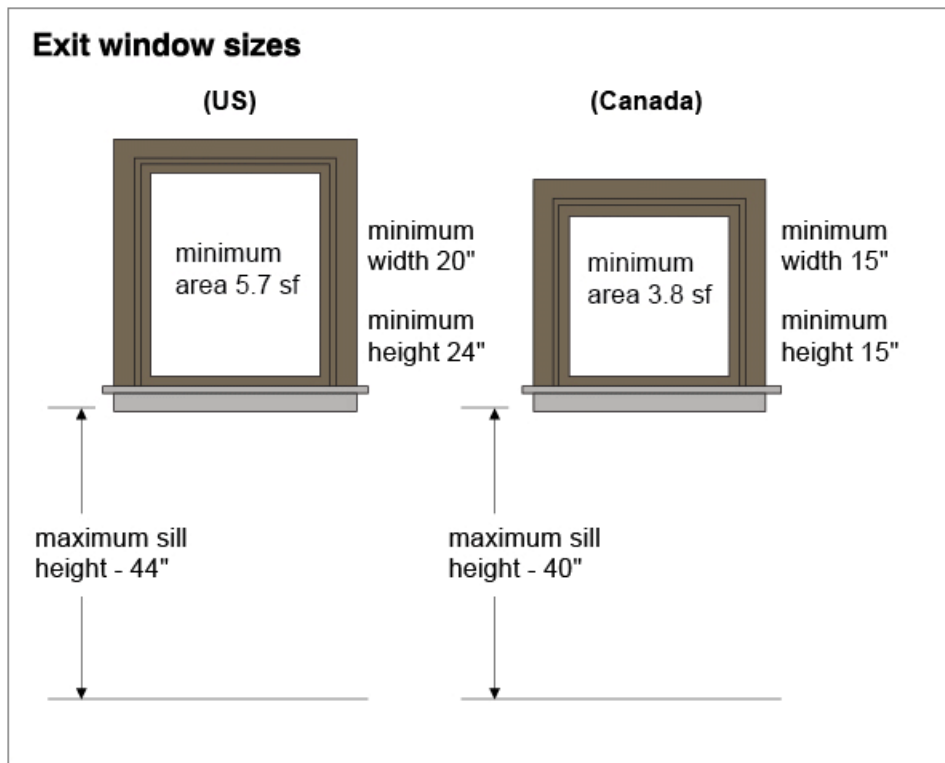
Window well appeared too small for egress

Implication(s): Restricted emergency exits

Location: Basement Bedroom Egress

Task: Recommend Upgrade to Current Standard

Time: As needed



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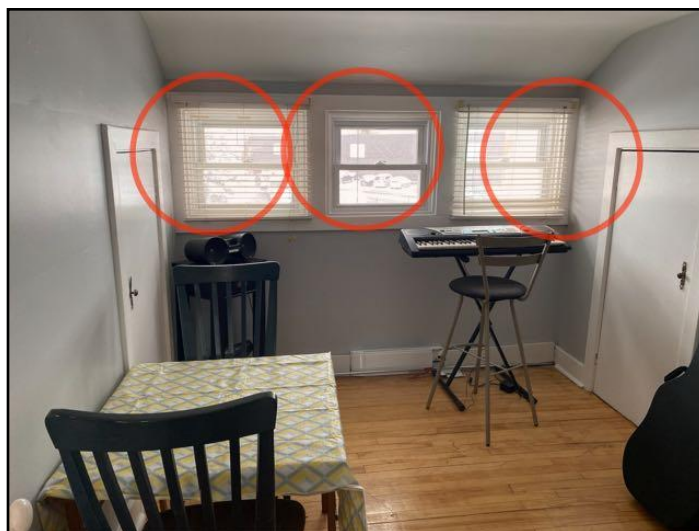
Condition: • [Too small](#)

Implication(s): Restricted emergency exits

Location: Front Second Floor Bedroom

Task: Recommend Upgrade to Current Standard

Time: As needed



STAIRS \ Handrails and guards

Condition: • This staircase had no handrail installed. This condition is a potential fall hazard. In order to comply with generally accepted current standards which require a handrail at staircases with 4 or more risers, this staircase would need a handrail installed.

Implication(s): Fall hazard

Location: Rear Basement Stairs

Task: Provide

Time: As needed

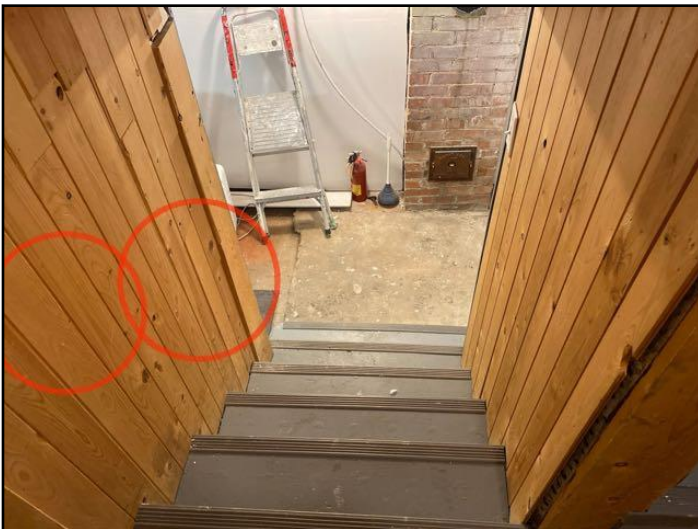
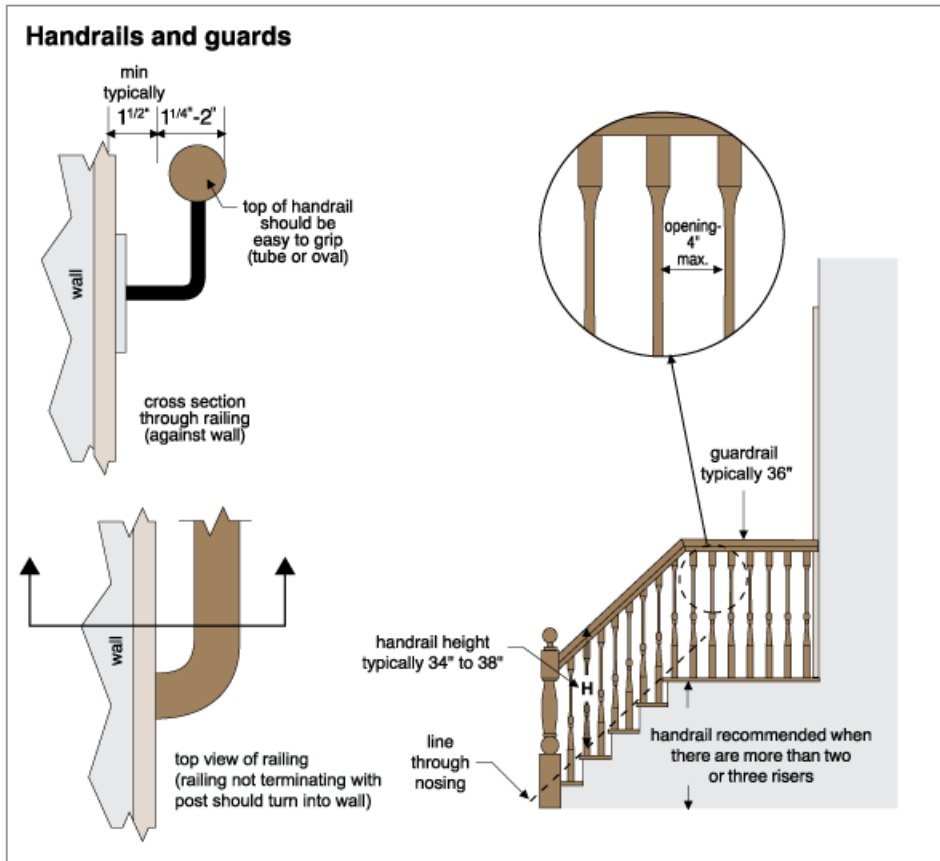
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EXHAUST FANS \ General notes

Condition: • [Missing](#)

Second floor did have a window for limited ventilation

Implication(s): Chance of condensation damage to finishes and/or structure

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222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

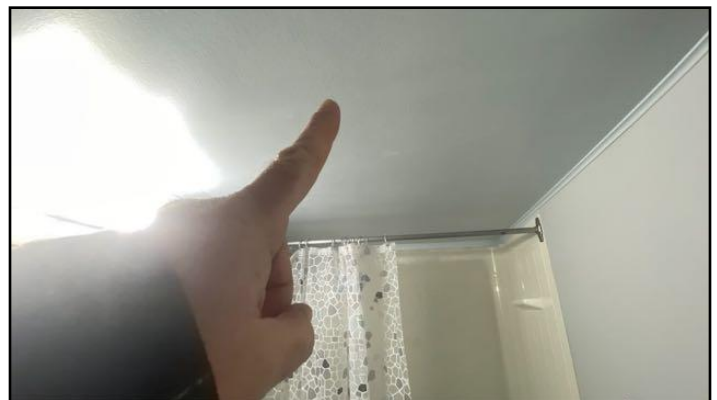
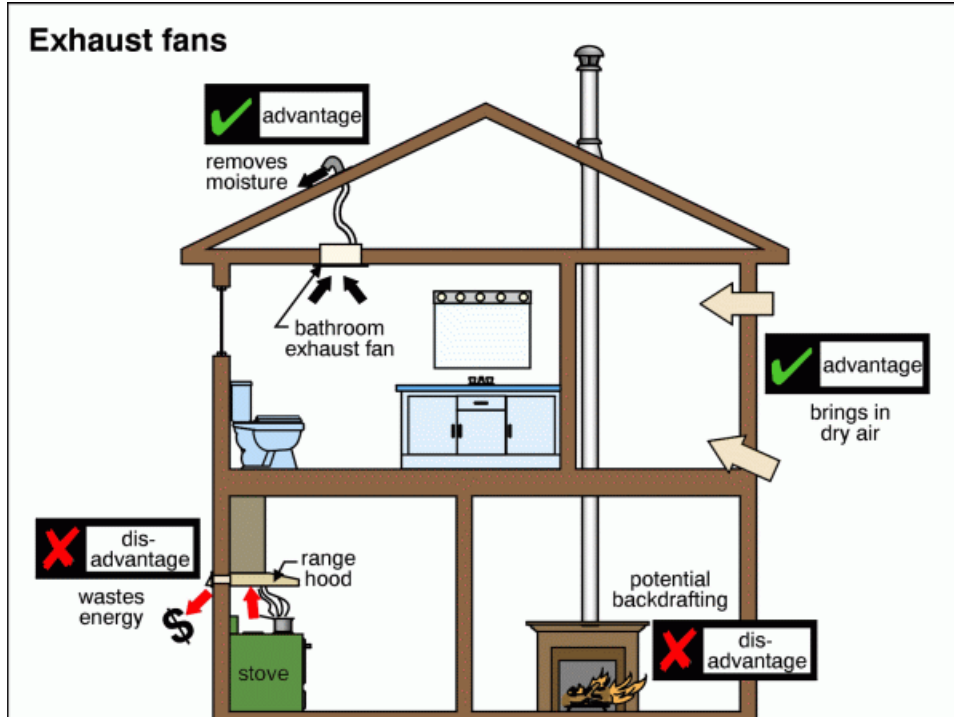
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Location: Basement and Main Floor Bathrooms

Task: Provide

Time: As needed



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Report No. 3517

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EXHAUST FANS \ Kitchen range exhaust system (range hood)

Condition: • No range hood or exhaust system was installed at the time of the inspection. The Inspector recommends that an exhaust hood or air filtration system be installed to prevent possible moisture damage and grease accumulation on walls and ceiling adjacent to the range.

Implication(s): Hygiene issue

Location: Basement Kitchen

Task: Provide

Time: As needed

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Report No. 3517

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The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with trades professionals or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the Canadian Arbitration Association in accordance with its Construction Industry Arbitration Rules with noted experience in arbitration in the Home Inspection Industry then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or modifications or the Client waives the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

OUR PHILOSOPHY

Our inspection philosophy separates components that are functional from those that are not. Where components are found to be functional, no recommendations will be offered. Where defects are noted, we will recommend improvements within a time frame. In some cases, components may be functional but clearly near the end of their life cycle. Those circumstances are included in the report as well. Keep in mind, we are not specialists, ie: Electricians, HVAC professionals, Plumbers, Structural engineers etc. Where we note further evaluation by a specialist, Repair, Service etc. by a specialist this is because a specialist will be able to evaluate further by dismantling the item and or using their expertise in an area to determine cause and repair. We also will recommend a specialist as they may also find further items of repair due to our recommendation, which increases the cost of repair originally noted. This is why we recommend these evaluations prior to the close of the sale.

ROOFING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Observations & Recommendations

SLOPED ROOFING \ General notes

Condition: • Not visible

95% of the roof was not visible due to heavy snow fall | Small areas were visible to estimate age and condition | Severe limitation

Location: Throughout Roof

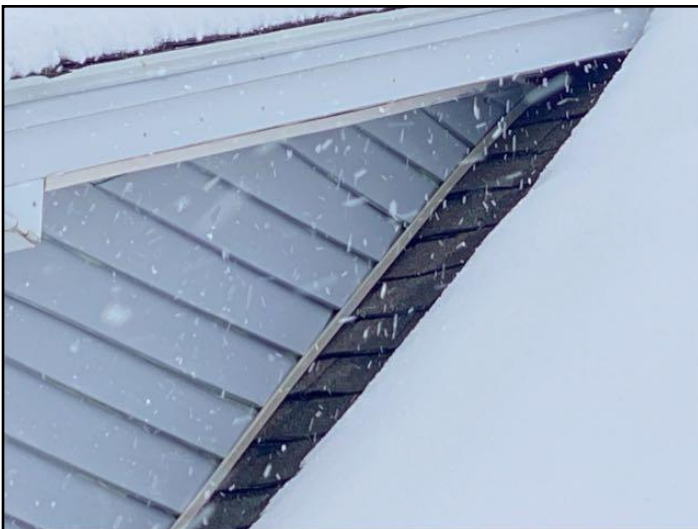
Task: Request Disclosure from Seller

Time: Prior to closing of your contingency period

General Information

General:

- General Roof View



ROOFING

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The home is considered to face: • North • West

Sloped roofing material: • [Architectural shingles are a premium grade of asphalt shingle roofing. The shingles are thicker and have a distinctive, textured appearance. They are sometimes called dimensional or laminate shingles](#)

Architectural shingles typically have higher wind resistance numbers than their 3-tab counterparts and resist leaks better. 30 - 50 year warranties are common with these shingles, but the warranty is highly prorated after 25 - 30 years. Typical replacement is usually needed 23 - 28 years after the initial installation.

Sloped roof flashing material: • Rubber • Aluminum

Shingles Stage of Life: • Due to the many variables which affect the lifespan of roof covering materials, I do not estimate the remaining service life of any roof coverings. This is in accordance with all industry inspection Standards of Practice.

The following factors affect the lifespan of roof covering materials:

- * Roofing material quality: Higher quality materials, will of course, last longer.
- * Number of layers: Shingles installed over existing shingles will have a shorter lifespan.
- * Structure orientation: Southern facing roofs will have shorter lifespans.
- * Pitch of the roof: Shingles will age faster on a lower pitched roof in comparison with higher pitches.
- * Climate: Wind, rain, and snow will impact the lifespan of the roof.
- * Color: Shingles that are darker in color will have a shorter lifespan, than lighter colored shingles.
- * Attic Ventilation: Poorly vented attic spaces will decrease shingle life due to heat.
- * Vegetation conditions: Overhanging trees, branches, contacting the roof, or leaf cover drastically shorten lifespan.

Asphalt shingles must be installed to manufacturers' recommendations, for the warranty coverage to be upheld. These installation requirements vary widely from manufacturer to manufacturer, and across the multitude of different shingle styles manufactured. I will inspect the roof to the best of my ability, but confirming proper fastening, use and adequacy of underlayment, and adequacy of flashing is impossible as these items are not visible, Damaging and invasive means would have to be carried out to confirm proper installation. Therefore, the inspection of the roof is limited to visual portions only. • I will do my best to estimate the stage of life that the shingles appeared to be in at the time of inspection. Architectural Composition shingles typically have a 30-35 year life span.

This would equate to:

First Third of Life: 1-10 years in age

Second Third of Life: 10-20 years in age

Last Third of Life: 20-25 years in age

Approximate age:

- The exact age of the shingles was undetermined. I would guess less than 5 years. Ask the seller about the exact age and any warranties

Disclosed listed agent | Front roof 1yr | Rear roof 2 years

Typical life expectancy: • 25-30 years

Roof Shape: • Gable • Shed

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Inspection Methods & Limitations

General: • The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a specialist. Because of variations in installation requirements of the huge number of different roof-covering materials installed over the years, the General Home Inspection does not include confirmation of proper installation. Asphalt shingles must be installed to manufacturers' recommendations, for the warranty coverage to be upheld. These installation requirements vary widely from manufacturer to manufacturer, and across the multitude of different shingle styles manufactured. I will inspect the roof to the best of my ability, but confirming proper fastening, use and adequacy of underlayment, and adequacy of flashing is impossible as these items are not visible, Damaging and invasive means would have to be carried out to confirm proper installation. Therefore, the inspection of the roof is limited to visual portions only. Home Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary. Although not required, we generally attempt to evaluate various roof types by walking on their surfaces; certain roofing materials are prone to damage if walked on; for this reason, we indicate the method used to evaluate the roof surface. Every roof will wear differently relative to its age, the number of layers, quality of material, the method of application, exposure to weather conditions, and the regularity of its maintenance. We can only offer an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The waterproof membrane beneath roofing materials is generally concealed and cannot be examined without removing the roof material. Although roof condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings or on framing within attics will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. We evaluate every roof conscientiously and may attempt to approximate its age, but we cannot predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it and that you either include comprehensive roof coverage in your home insurance policy or that you obtain a roof certification from an established local roofing company. We do not inspect attached accessories including but not limited to solar systems, antennae, and lightning arrestors. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Inspection limited/prevented by: • The pitch or slope of the roof system require specialized equipment to safely access the roof | The roof system was visually evaluated from the ground | Due to this limitation not all areas of the roof may not have been visible for evaluation | A specialist can further evaluate the roof as needed prior to closing of your contingency period • Lack of access (too slippery) • Snow/ice/frost • Wet roof surface hides flaws • It was snowing at the time of inspection • The roof and shingles were covered with snow • The underlayment was hidden beneath the roof-covering material. It was not inspected and the Inspector disclaims responsibility for evaluating its condition or confirming its presence.

Inspection limited/prevented by: • Roof condition and age was disclosed by the listing agent during the inspection

Inspection performed: • From the ground

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos, mould

ROOFING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

and radon gas

Age determined by: • Visual inspection from ground

Not included as part of a building inspection: • Antennas • Not readily accessible interiors of vent systems, flues, and chimneys • Dish

EXTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

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Observations & Recommendations

WALLS \ Trim

Condition: • [Missing](#)

Implication(s): Chance of water damage to structure, finishes and contents

Location: Various Areas of the Exterior Walls

Task: Repair or Replace

Time: As needed



WALLS \ Vinyl siding

Condition: • There was a section of the siding that was pulling away from the main structure. This can allow for conditions conducive of moisture intrusion that can damage the underlying structural materials and interior finished surfaces.

Recommend repair by a specialist.

Location: Exterior Wall

Task: Service General Repair

Time: As soon as practical



DOORS \ General notes

Condition: • Exterior door is not an exterior door type | Recommend upgrading as needed

EXTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

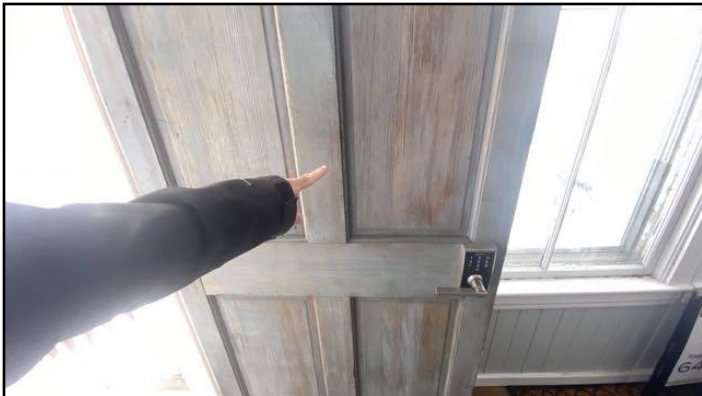
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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Location: Front Exterior Porch Door

Task: Recommend Upgrade to Current Standard

Time: As needed



General Information

General:

- General Exterior View



EXTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

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222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

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Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • The roof drainage system, gutters, downspouts, extensions, etc. Typically the inspector is unable to evaluate the effectiveness of the system due to limited weather conditions at the time of inspection. It is recommended that the system is evaluated over time, in varying weather conditions, to see how the system performs and make any corrections/improvements as needed. • [Above grade](#)

Lot slope: • Basement leakage is often caused by conditions on the exterior of the home. Basements are not built like boats, and if water is allowed to collect outside of foundation walls, it will leak through into the basement. It is important that gutters and downspouts collect roof water and carry it away from the house. Similarly, lot grading around the house should slope down away from the building so that surface water from rain and melting snow is directed away from the building, rather than toward the foundation. • [Away from building](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Vinyl](#) • [Aluminum](#)

Wall surfaces and trim: • [Vinyl siding](#)

Driveway: • Not visible due to snow cover

Walkway: • Not visible due to snow cover

Window Shutters/Panels: • Decorative shutters

Deck: • Wood • Raised

Exterior steps: • Wood

Inspection Methods & Limitations

General: • As prescribed in the pre-inspection agreement, this is a visual inspection only. A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. The presence of safety glazing in doors and windows is not observed. The presence or condition of buried fuel storage tanks is not determined. Detached buildings or structures are not inspected. The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

EXTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any deficiencies or problems if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a qualified contractor or a structural engineer, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons.

Inspection limited/prevented by: • Poor access under steps, deck, porch • Snow / ice / frost • We were unable to confirm if proper footings are provided for the deck as they are buried underground. A full evaluation by a specialist is recommended to provide more information about the condition of the footings.

No or limited access to: • Area below steps, deck, porches • No access was gained to the underside of the deck. A full evaluation by a specialist is recommended to provide more information about the condition of the deck. • The Inspector was unable to view the attachment of the deck to the home and recommends a full evaluation by a specialist is recommended to provide more information about the condition of the deck connection.

Upper floors inspected from: • Ground level

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Geological and soil conditions • Recreational facilities • Outbuildings other than garages and carports • Seawalls, breakwalls, docks • Erosion control, earth stabilization measures • The property may included one or more detached structure (structures not attached to the home) which were not included as part of a General Home Inspection and were not inspected. But may be noted for courtesy.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos, mould and radon gas

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations & Recommendations

FOUNDATIONS \ General notes

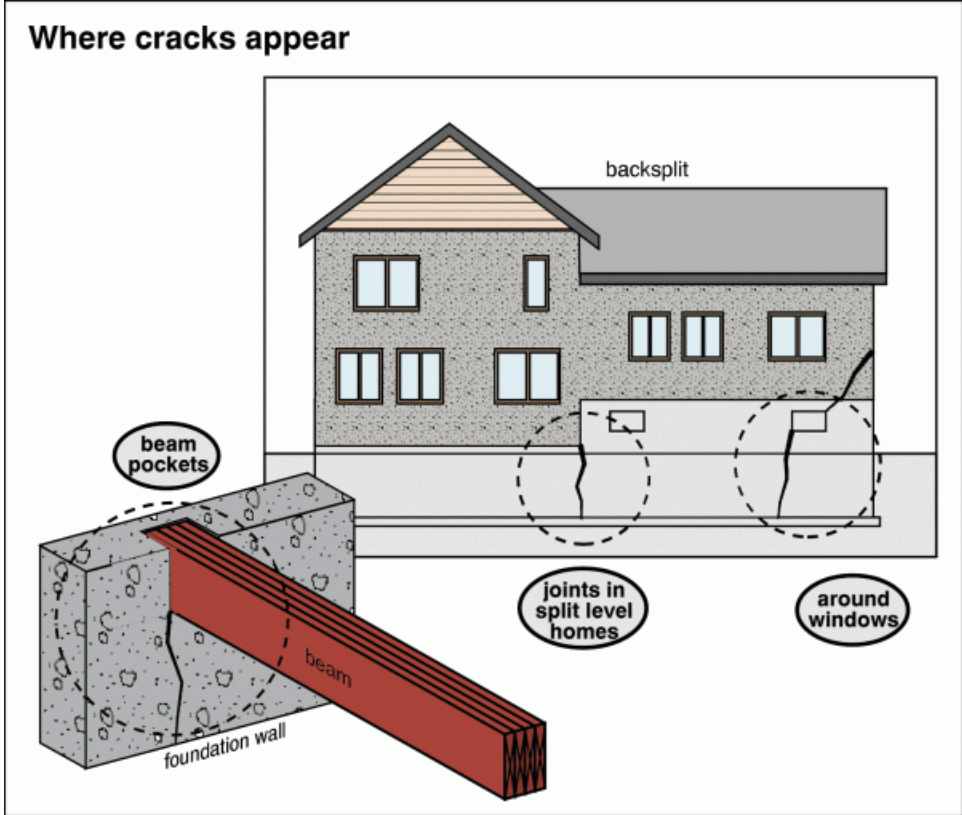
Condition: • [In our opinion, the cracks do not currently affect the serviceability of the structure, however, if present, even minor cracks can permit water entry into the home.](#) In that regard, the client should ensure that positive drainage exists around the perimeter of the home and that no downspouts discharge water near the foundation walls. In addition, the client may wish to seal or repair these cracks prior to occupancy to reduce the potential for water infiltration into the home. The inspector is at the home for a limited time and cannot predict future activity from weather or soil. Current technology permits cost-effective repairs of foundations from the interior as well as the exterior of the home. Inspector recommends a further evaluation from a specialist to provide a more detailed evaluation and cost and type of the repair needed

Implication(s): Vulnerability to water/moisture entry in the home

Location: Left and Rear Side Exterior Foundation

Task: Repair

Time: As needed



A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Crack repair - epoxy and polyurethane injection

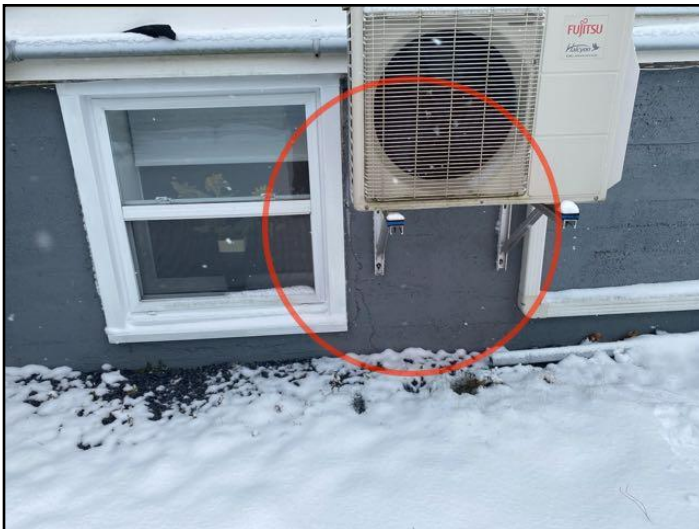
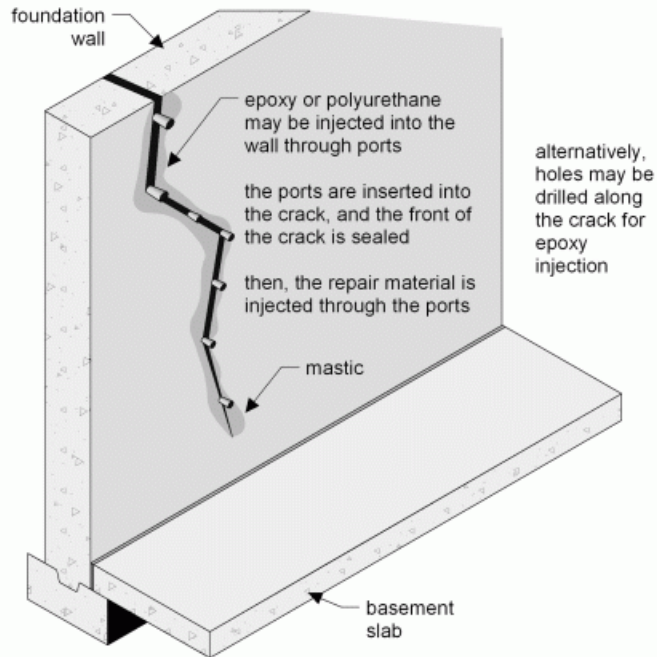
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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General Information

General: • General Structure View

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • Not visible

Exterior wall construction: • Not visible

Roof and ceiling framing: • Rafters • [Plank sheathing](#)

Location of access to under-floor area: • Basement

Inspection Methods & Limitations

General: • As prescribed in the pre-inspection agreement, this is a visual inspection only. Assessing the structural integrity of a building is beyond the scope of a typical home inspection. A specialist is recommended where there are structural concerns about the building. Most concrete slabs experience some degree of cracking due to shrinkage in the drying process. These cracks, as well as settlement cracks, may be hidden from view by floor and wall coverings, such as a finished basement, or storage. Structural components concealed behind finished surfaces could not be inspected. Only a representative sampling of visible structural components were inspected. Furniture and/or storage may have restricted access to some structural components. Areas of the attic(s) and/or crawl space(s) which are judged to be unsafe at the sole discretion of the Inspector, for whatever reason, including but not limited to inadequate access or space, lack of adequate walkway supports, high water, high temperatures, heavy insect, varmint or pet activity are not inspected other than from the access location. Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection. • All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that appear to be firm and solid can become unstable during seismic activity or may expand with the influx of water, moving structures with relative ease and fracturing slabs and other hard surfaces. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, minor cracks or deteriorated surfaces are common in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further

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evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances, floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We also routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. During the course of the inspection, the inspector does not enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely affect the health of the inspector or other persons. • Inspection of the roof structure from inside the attic typically includes: Roof structure, typically conventional framing or manufactured trusses; Roof sheathing, boards, plywood or oriented strand board OSB; Ventilation methods; and - installation and level of thermal insulation that may affect the lifespan or performance of the roofing materials, home energy efficiency, or comfort levels. Attics may have certain limitations regarding access. A full attic usually has a floor and adequate space for someone to easily walk around. A crawl attic is unfinished and may have restricted access. Limits of review are determined by the type of attic, insulation and owners belongings. Our attic inspection determines the presence of insulation, visible evidence of leakage and the underside of the roof, ventilation, and a visual review of the rafters and/or trusses. Water stains around roof penetrations such as chimneys, plumbing, and vents are very common. It is difficult to determine if these stains are active unless leaking at the time of inspection. • The roof structure and other components located in the attic were observed using a 1500 lumen flashlight as not all areas of the attic space are readily accessible and accidental damage could be caused by accessing the attic. Although a reasonable attempt is made, it is possible that existing deficiencies in the attic may have gone undetected at the time of the inspection. Hidden or concealed components are specifically excluded.

Inspection limited/prevented by: • The access hatch to the attic was too small to provide safe entry. As a result, inspection of the attic space lies beyond the scope of the General Home Inspection and it was not inspected. Because attics may contain potential fire or health hazards, other safety issues, damage, or defects that have the potential to cause damage to the home, the Inspector recommends that the attic be inspected by a specialist after access to the attic is provided. • The attic space lacked adequate headroom for safe entry. As a result, inspection of the attic space lies beyond the scope of the General Home Inspection and it was not inspected. Because attics may contain potential fire or health hazards, other safety issues, damage, or defects that have the potential to cause damage to the home, the Inspector recommends that the attic be inspected by a qualified specialist after access to the attic is provided. • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • Insulation • Finished basement - wall and ceiling coverings blocked 100% visibility to the floor, walls and ceiling structure.

Attic/roof space: • The attic was viewed from the hatch area because access would have damaged or disturbed insulation. Entering attics that are heavily insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In attics with truss construction, walking on the trusses can cause damage to the structure. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl through the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing.

Percent of foundation not visible: • 100 %

STRUCTURE

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Not included as part of a building inspection:

- Visible mold evaluation is not included in the building inspection report
- An opinion about the adequacy of structural components
- Less than 24 inches of vertical clearance cannot be entered in under-floor crawlspace areas
- Access opening smaller than 16 inches x 24 inches cannot be entered in under-floor crawlspace areas
- Attic load bearing components concealed by insulation cannot be traversed
- Accurately addressing the severity of a crack is beyond the scope of a home inspection as I have no knowledge of how long the crack has been in place, whether or not it is has been recently active, and what conditions may have contributed to its formation. I will report on the visual condition of the crack at the time of inspection. Only a foundation contractor or structural engineer (P.E.) utilizing special tools and equipment can determine the severity of a crack and they should be consulted as desired. Any references to cracks on foundation walls below grade will need to be sealed at a minimum to prevent the possibility of moisture/water infiltration, regardless of the size of the crack.
- Less than 24 inches of vertical clearance cannot be entered in attic space
- Attic hatch access opening smaller than required 22 inches x 36 inches may be difficult to enter. The inspector will comment on the type of access gained.

Environmental issues are outside the scope of a home inspection:

- This includes issues such as asbestos, mould and radon gas

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations & Recommendations

SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

Condition: • The Circuit Directory label identifying individual electrical circuits was missing from the service panel cabinet. The service panel should contain a clearly-marked label identifying individual circuits so that in an emergency, individual circuits can be quickly shut off.

Implication(s): Nuisance

Location: Basement Panel

Task: Provide

Time: As needed



SERVICE BOX, GROUNDING AND PANEL \ Distribution fuses/breakers

Condition: • There are breakers within the main electrical panel are doubled up (referred to as a "double tap"). A double tap is when two circuit wires are connected to only one breaker. The circuits should be separated so that each circuit is serviced by its own circuit breaker. A specialist should be consulted to make the necessary corrections.

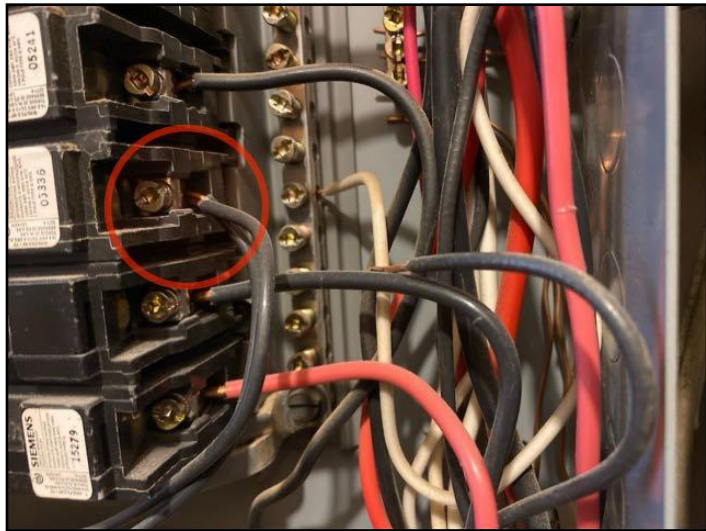
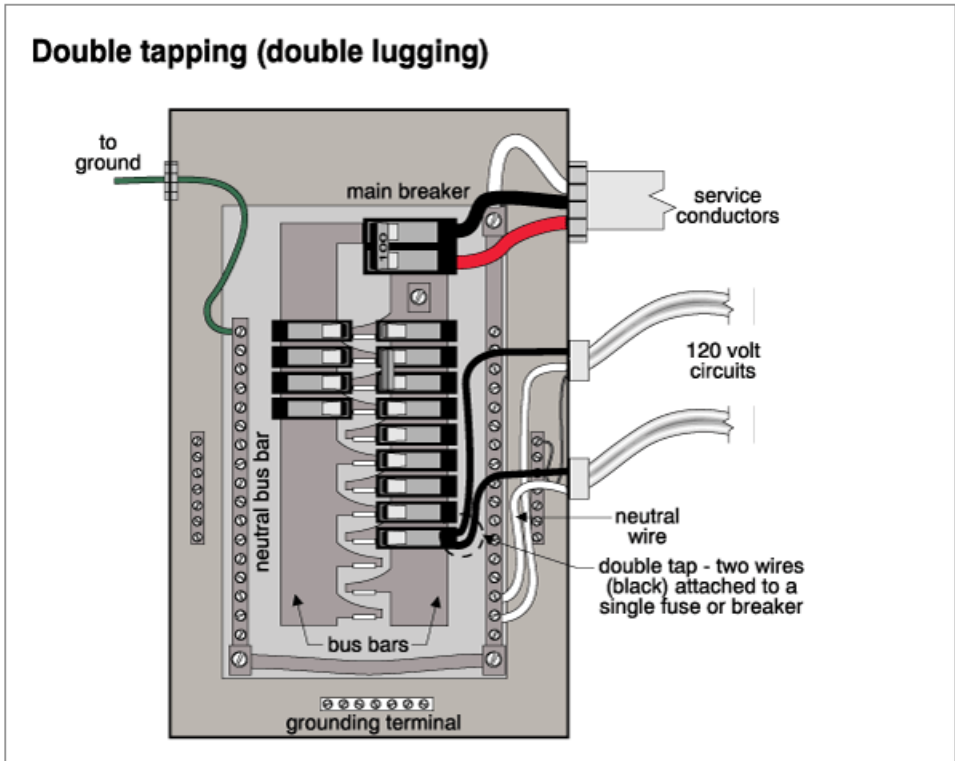
Implication(s): Fire hazard

Location: 100 amp panel | Rear Stairs

Task: Correct

Time: As soon as practical

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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SERVICE BOX, GROUNDING AND PANEL \ Panel wires

Condition: • [Not well secured](#)

Wires can fray and electrify the panel

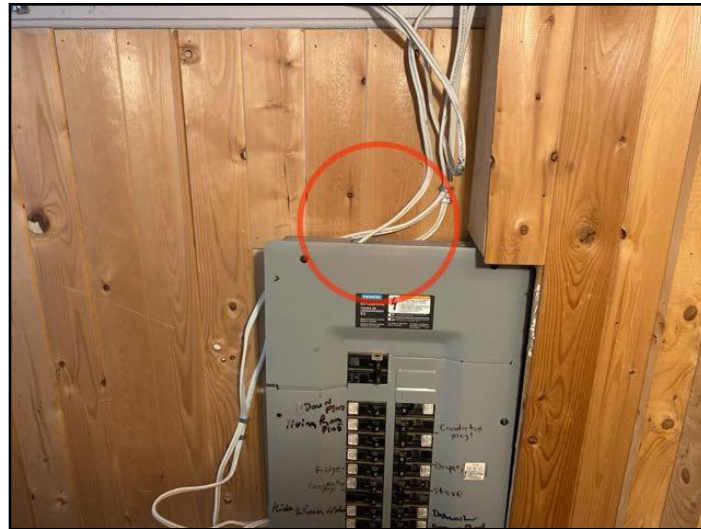
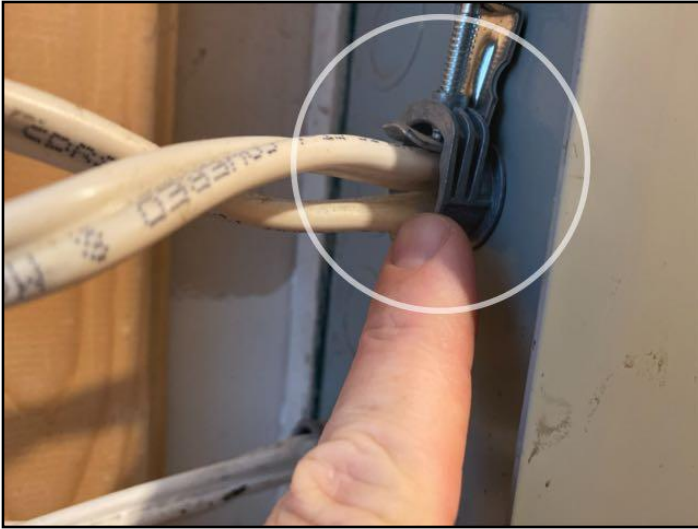
Implication(s): Fire hazard | Electric shock

Location: 100amp Panel

Task: Correct

Time: As soon as practical

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Although not required when the home was built it is today considered a standard safety feature. Missing GFCI-protection at the kitchen counter receptacles. All of the countertop receptacles should be upgraded to have ground fault GFCI protection, which is mandated by current standards and is an important safety feature. GFCIs are one of the most important safety devices found in a home and should be installed in normally wet locations, i.e. bathrooms, kitchens, outdoor receptacles, garages, unfinished basements or crawlspaces, whirlpools; hot tubs or pools, etc. They should be tested regularly by operating the test button on the unit. Any GFCI unit failing this test should be replaced by a specialist. Consult a specialist for appropriate locations and for installation of devices.

Main floor Outlet white is projected | Outlet red is not

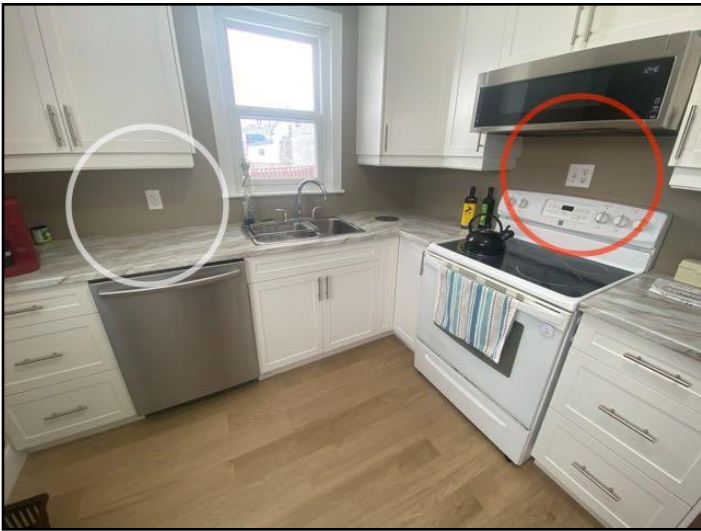
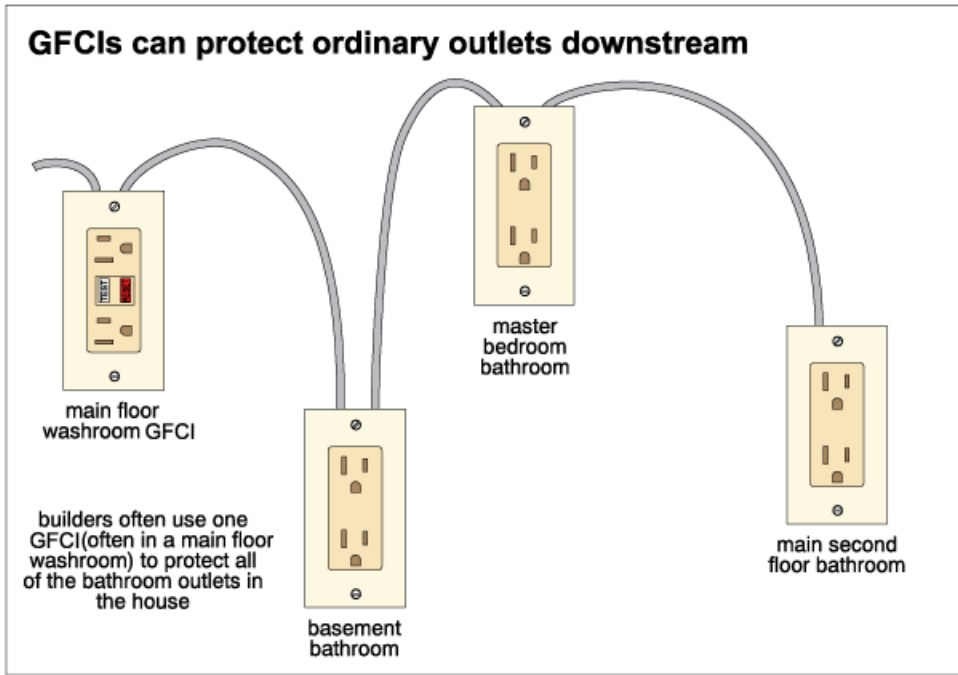
Implication(s): Fire hazard | Reduced electrical safety

Location: Kitchen Counter Outlets

Task: Recommend upgrade to current standard

Time: As soon as practical

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • [Where to install Smoke Detectors](#)

Missing and or expired smoke detectors. Recommend providing as per current fire safety standards and best practices. Smoke alarms must be installed in each bedroom, adjacent hallways, each living area level, and basements. Smoke alarms are available in models that are battery-powered, long-life battery equipped, or 'dual powered' hardwired with an option of battery backup. Smart detectors offer additional features through a companion smartphone app. Features include smartphone alerts about smoke/CO (even when you're not home) and low batteries, as well as the ability to hush alarms from your phone. Some models connect to the internet via WiFi, while others require an additional bridge or hub, which are standalone devices that connect smart home devices to the internet

ELECTRICAL

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Location: Where Needed | Where Required

Task: Provide

Time: As soon as practical



General Information

General:

- General Electrical View



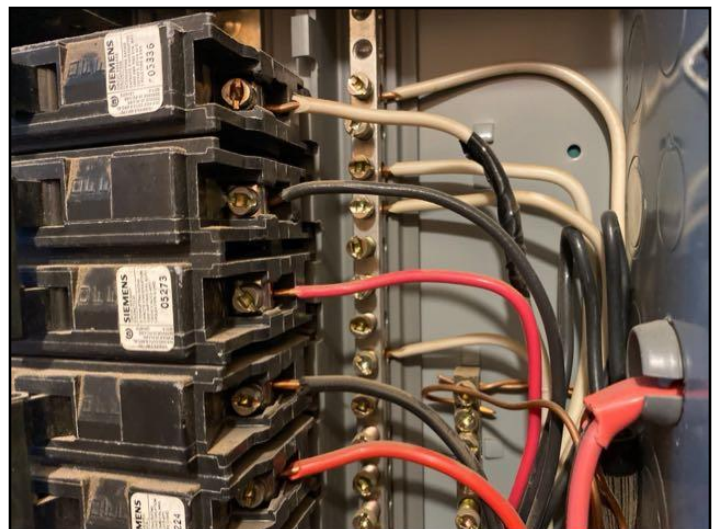
ELECTRICAL

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SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



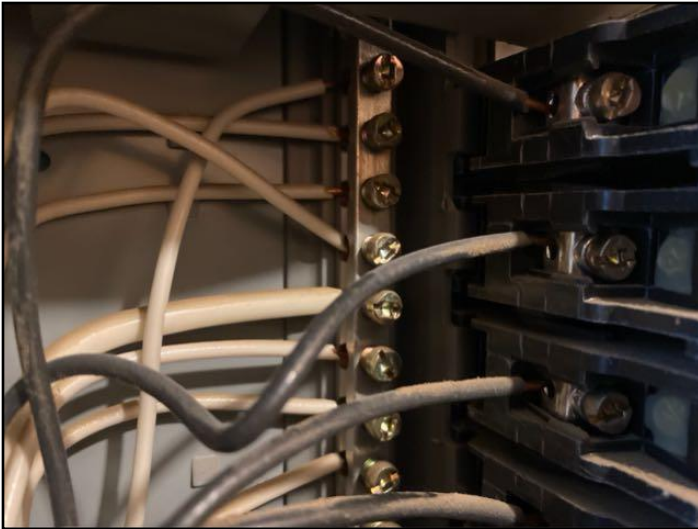
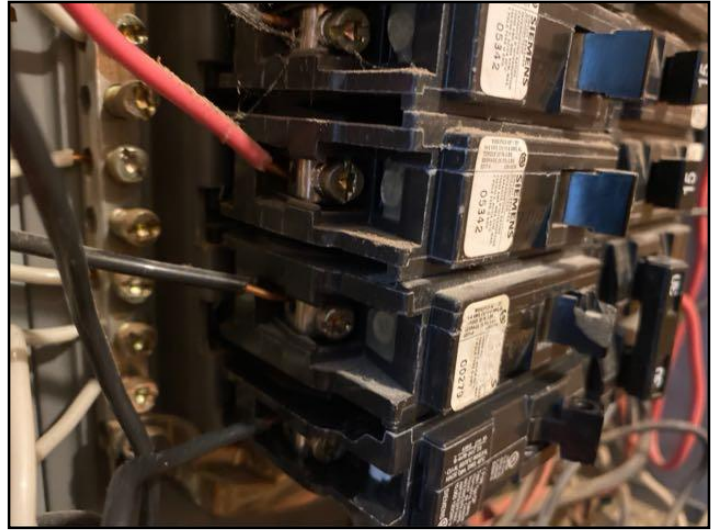
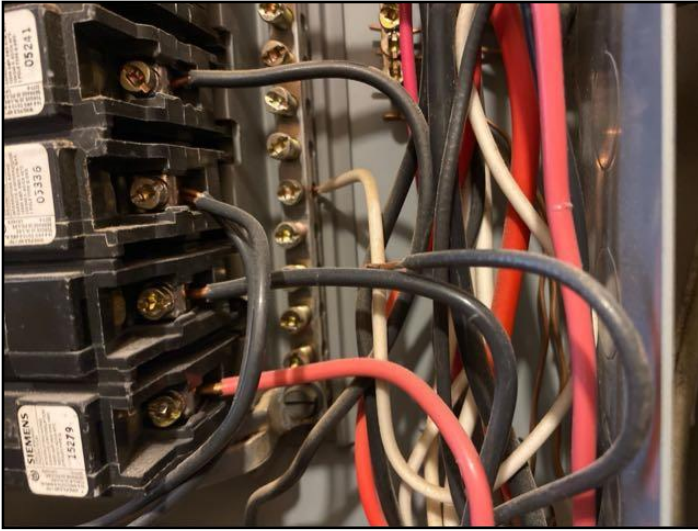
ELECTRICAL

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SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



Service entrance cable and location: • [Overhead - cable type not determined](#)

Service size: • [200 Amps \(240 Volts\)](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • Ground wire visible termination point not found • There is a grounding conduit attached to the main electrical service entrance visible from outside. This conduit is intended (not visible) to attach the grounding wire for the home to the driven grounding rod

Electrical panel manufacturers: • Siemens

Auxiliary panel (subpanel) type and location: • [Breakers - first floor](#)

Auxiliary panel (subpanel) rating: • [100 Amps](#)

Number of circuits installed: • With the current configuration of the panel there was additional space for adding breaker

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

if and when needed. • 26

Distribution wire (conductor) material and type: • As noted from the main panel • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • A representative number of readily accessible electrical wall outlets were tested. • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • No AFCI • [GFCIs present](#) • [GFCI - bathroom](#) • [GFCI - kitchen](#)

Smoke alarms (detectors):

• [Smoke detectors are not tested as part of a general home inspection. The Inspector recommends that all detectors be checked to confirm that they don't need a battery replacement.](#) Ideally, there should be smoke detectors installed on every floor, including the basement and the attic space, inside every bedroom, and in the hallway outside the bedrooms. The detectors should be hard-wired with battery back-up.

Basement hallway expired 2022 | Main floor bottom of stairs expired 2022 |

• Most manufacturers recommend testing detectors every week. And replacing the detectors every 10 years.

Carbon monoxide (CO) alarms (detectors): • None noted • No CO2 detectors were noted | Not uncommon or required due to no fuel-fired appliances being installed in the home. Recommend installing

Fire Extinguishers: • None noted

Inspection Methods & Limitations

General: • We are not electricians and in accordance with the standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, every electrical deficiency or recommended upgrade should be regarded as a latent hazard that should be serviced as soon as possible, along with evaluation and certification of the entire system as safe by a specialist. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow because a specialist/electrician could reveal additional deficiencies or recommend additional upgrades for which we disclaim any responsibility. Any electrical repairs or upgrades should be made by a licensed electrician. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Inoperative light fixtures often lack bulbs or have dead bulbs installed. The inspector is not required to insert any tool, probe, or testing device inside the panels, test or operate any overcurrent device except for ground fault interrupters, nor dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels. The inspector is not required to inspect or operate exterior accent lighting. Any ancillary wiring or system that is not part of the primary electrical distribution system is not part of this inspection but may be mentioned for informational purposes only, including but not limited to low voltage systems, security system devices, heat detectors, carbon monoxide detectors, telephone, security, cable TV, intercoms, and built-in vacuum equipment.

Inspection limited/prevented by: • The main electrical disconnect/shut off was not tested. This can cause inconveniences to the vendor, as well as cause safety issues. • Storage • Insulation • Electrical wiring type is noted as viewed from the main panel • Smoke and carbon monoxide alarms are not tested where the system may be monitored or requires the use of codes

Panel covers: • Not safe to remove

Fuse block: • Fuse blocks are not pulled if present

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

System ground: • Not accessible • Continuity not verified • Quality of ground not determined

Circuit labels:

- The accuracy of the circuit index (labels) was not verified.
- The circuits are not labeled at the panel

Basement

Panel or disconnect cover:

- The service voltage and amperage type and size noted in the report were provided as described on the manufacturer's label of the main panel. The home inspector does not use special tools to measure service voltage and amperage. This is beyond the scope of a standard home inspection and should be conducted by a professional specialist.
- Panel covers are not removed when required clearances/access are not provided at the time of the inspection.
- The inspector was unable to remove the panel cover and electrical components inside the service panel were not inspected. The Inspector recommends that before the expiration of your Inspection Objection Deadline you have this condition corrected and the service panel contents inspected by a specialist.

Basement | Restricted access due to counter

Not included as part of a building inspection: • Remote control devices • Low voltage wiring systems and components • Testing of smoke and/or carbon monoxide alarms • Solar, wind, and other renewable energy systems • Amperage, voltage, and impedance measurements • 220V/240V receptacles are not tested for functionality or polarity, as they can not be tested with a standard receptacle polarity tester. Only visual deficiencies will be reported on with relation to these receptacle(s).

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Observations & Recommendations

SPACE HEATER \ Electric baseboard heater/space heater

Condition: • [Inoperative heaters](#)

Listing agent disclosed | Inoperable not connected will be for closing

Implication(s): No heat for building

Location: Second Floor Bedrooms

Task: Repair

Time: Prior to closing of your contingency period

General Information

Heating system type: • Electric baseboard heaters • [Heat pump](#)

Fuel/energy source: • [Electricity](#)

Heat pump manufacturer: • Fujitsu

Heat distribution: • [Baseboards](#)

Approximate capacity:

• Not determined

Baseboards

Efficiency: • [High-efficiency](#)

Approximate/Estimated age:

• 5-10 years

Heat pumps

• 5-10 years

Baseboards

Typical life expectancy: • Electric baseboards (100% efficient converting electricity to heat) 20 to 25 years. However, as with most things, they could last much longer, with proper maintenance

Auxiliary heat: • Heat pump - mini split

Chimney/vent: • [Masonry](#)

Chimney liner: • [Not visible](#)

Carbon monoxide test: • 0 parts per million - approximate

Mechanical ventilation system for building: • None

Inspection Methods & Limitations

General: • Our inspection of the heating and cooling system included a visual examination of the systems major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified heating, ventilating, and air-conditioning (HVAC) contractor.

HEATING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

The inspection of the heating system merely consists of a check of the responsiveness of the thermostat and a visual observation of the system without dismantling the unit. If the system is a furnace(s), please be advised that the Inspector does not check heat exchangers, period. If you are interested in checking heat exchangers, you will need to call a heating company. As prescribed in the pre-inspection agreement, this is a visual inspection only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger or the interior of mechanical equipment is beyond the scope of this inspection. The adequacy of heat supply or distribution balance is not inspected. The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected. Solar space heating equipment/systems are not inspected. Chimney and flue interiors are not inspected. If you are concerned with this area, you must employ a chimney company to clean and further evaluate the chimneys. Fire screens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected. The inspection does not involve igniting or extinguishing fires or the determination of draft. Fireplace inserts, stoves, or firebox contents are not moved.

Inspection prevented/limited by:

- A/C or heat pump operating
- Chimney clean-out not opened
- Chimney interiors and flues are not inspected
- Vent connectors, chimney interiors and flues are not inspected
- Top of chimney too high to see well
- No access

Roof and exterior chimney

- Heating systems are tested using the thermostat only. Specialized tools are not used. The heat was left to run for a period of time to determine heat distribution at each location then turned back to the owners previous setting.

Safety devices: • Not tested as part of a building inspection

Air conditioner or heat pump: • Operating in heating mode prevented the test of the cooling system

Heat loss calculations: • Not done as part of a building inspection - Heat gain calculations are not performed as part of a home inspection. These calculations are typically performed by designers to determine the required size for heating and HVAC systems.

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos, mould and radon gas

Not included as part of a building inspection: • Heat loss calculations • Interiors of vent systems, flues, and chimneys • Heat exchangers • Humidifiers and dehumidifiers • Electronic air cleaners • Heating systems using ground source, water source, solar, and renewable energy technology • Heat/energy recovery systems • Whole house mechanical ventilation systems • Fireplace screens and doors • Fireplace seals and gaskets • Automatic fuel feed devices • Mantles and fireplace surrounds • WETT Inspection • Evaluation of propane tanks lies beyond the scope of the general Home Inspection. The propane tanks can be evaluated by the contractor supplying the home with propane. • Due to much of the Geothermal unit being underground we are unable to determine the units operating effectiveness based on only the above ground mechanical devices. We use only the thermostat to determine if the unit is working at the time of the inspection.

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Observations & Recommendations

RECOMMENDATIONS \ General

Condition: • Although (conditions permitting) the inspection of air-conditioning / heating systems includes confirming cool/warm air flow at registers, the General Home Inspection does not include confirmation of even temperature distribution throughout the home. Multiple-level homes with open staircases may experience significant temperature differences between upper and lower levels. Especially in homes with an open central stairwell, there will often be a noticeable temperature gradient, with the top floor being warmest and the lowest floor being coolest. This will be especially true in homes in which the cooling system was not designed and installed during original construction of the home. Ducts designed primarily for heating may not work well for cooling due to differences in air density between warm and cold air. You may need to adjust some vents to force a greater flow of air into some areas during specific periods of the day to cool or heat specific areas or rooms to your satisfaction. The system must be adjusted to adapt to changing conditions. Adjusting the cooling system lies beyond the scope of the General Home Inspection. Under some circumstances, the cooling system may not cool upper floors to your satisfaction. You should ask the sellers if this has been a problem in the past. Methods exist to deal with inadequate air distribution and prior to the expiration of your Inspection Objection Deadline you may wish to consult with an HVAC contractor to gain an idea of options and costs.

RECOMMENDATIONS \ Overview

Condition: • No air conditioning or heat pump recommendations are offered as a result of this inspection.

General Information

General:

- General View



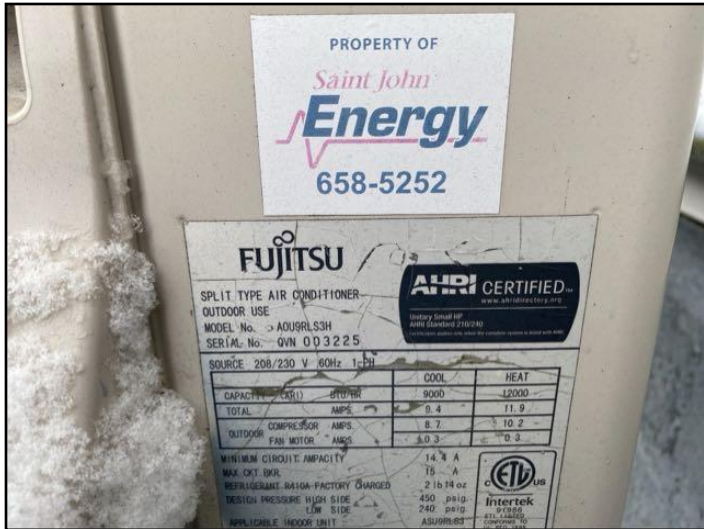
COOLING & HEAT PUMP

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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- A SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING**
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO
- RADON
- INFRA-RED
- MORE INFO
- APPENDIX
- REFERENCE



- Air conditioning type:** • [Ductless \(Mini split\) system](#) • [Independent system](#) • Electric • [Air cooled](#)
- Heat pump type:** • [Ductless \(Mini split\) system](#) • [Auxiliary heat](#) • Electric • [Independent unit](#) • [Air source](#)
- Heat pump type:** • Rented
- Manufacturer:** • Fujitsu
- Cooling and heating capacity:**
- [18,000 BTU/hr](#)
- Heating
- Cooling and heating capacity:** • 14,500 BTU/hr Cooling
- Compressor type:** • Electric
- Compressor approximate age:** • 5-10 years
- Typical life expectancy:** • 12 to 15 years

COOLING & HEAT PUMP

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Refrigerant type: • R-410A

Location of the thermostat for the system: • First Floor

Location of the thermostat for the system: • Basement

Condensate system: • Discharges to exterior

Ancillary components: • Remote control

Inspection Methods & Limitations

General: • Inspection of home cooling systems typically includes a visual examination of readily observable components for adequate condition and system testing for proper operation using normal controls. Cooling system inspection will not be as comprehensive as that performed by a specialist. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor. The General Home Inspection does not include confirming uniform temperature distribution throughout the home by the cooling system. In multiple-story homes, a temperature gradient will often exist, with upper floors being warmer than lower floors. You should ask the seller about this condition, keeping in mind that individuals often have their own perceptions of what constitutes the adequate performance of the cooling system.

The general home inspection does not include any type of heating system warranty or guaranty. Inspection of heating systems is limited to basic evaluation based on visual examination and operation using normal controls. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a specialist. Inspection of heating systems typically includes: - system operation: confirmation of adequate response to the thermostat; - proper location; - proper system configuration; - component condition - exterior cabinet condition; - fuel supply configuration and condition; - combustion exhaust venting; - air distribution components; - proper condensation discharge; and - temperature/pressure relief valve and discharge pipe: presence, condition, and configuration.

Inspection limited/prevented by: • Low outdoor temperature • Cannot verify proper operation of air filter • Cannot verify effectiveness of air filter

Heat pump only tested in: • Heating mode

Heat gain calculations: • Not done as part of a building inspection

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

System data plate:

• Incomplete
Date not readily listed

Window unit: • Window A/C excluded from inspection

Not included as part of a building inspection: • Electronic air cleaners • Cooling system adequacy • Cooling system distribution balance • Window cooling system • Ground source, water source, solar, and renewable energy technology • Heat gain or heat loss calculations • Environmental issues are outside the scope of a home inspection such as asbestos, mould and radon gas

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observations & Recommendations

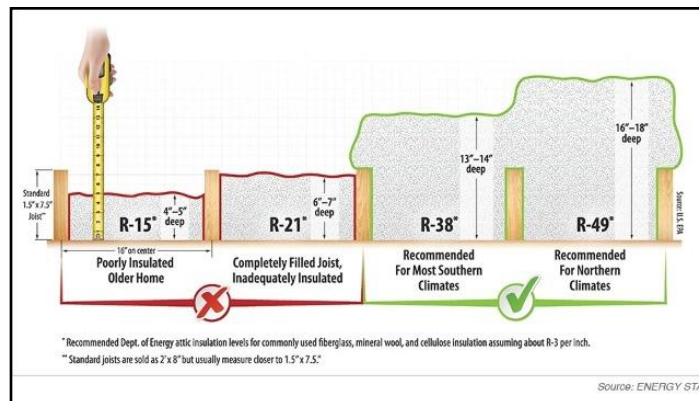
RECOMMENDATIONS \ Overview

Condition: • No insulation recommendations are offered as a result of this inspection.

General Information

General:

• Adding insulation to a home improves the comfort and reduces the heating and cooling costs. Virtually every home could have more insulation added, although the cost-effectiveness of adding insulation decreases with higher levels of existing insulation. Typically, improving the insulation in the attic is the most cost-effective approach. When adding insulation, it may also be necessary to improve the attic ventilation. If changes are planned for exterior walls, insulation improvements may be cost-effective as part of this work. Improving the insulation levels in basements and crawlspaces from the interior can also be quite cost-effective, although there is typically less heat loss from these areas than there is from the attic, for example. Reducing the amount of air leakage out of the home can also have a dramatic impact on both comfort and fuel costs. There are firms that specialize in sealing homes to reduce air leakage. These improvements can be cost-effective, especially for particularly leaky homes. This work is often incorporated into insulation improvements.



Adding insulation

• General View



INSULATION AND VENTILATION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



INSULATION AND VENTILATION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Attic/roof insulation material: • [Glass fiber](#) • Loose fill type • Batt type

Attic/roof insulation amount/value: • In the average home, 50 to 70% of the total energy used is for heating and cooling. In New Brunswick we have a "heating climate". Most of our energy is used for heating in the winter and therefore adequate insulation of the building envelope is very important to minimizing energy costs. The minimum recommended "R-value" for newly constructed homes in our province is R-49.2. While it is highly unlikely that older homes will achieve this level of efficiency; it is intended to be used as a reference point in order to help determine whether insulation improvements should be considered in your specific situation. • 15" to 16" inches deep (R-45)

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation:

- [Soffit vent](#)
- [Gable vent](#)

• Ventilated attics require ventilation baffles near the eaves to create an air gap between the underside of the roof sheathing and the top of the insulation layer. The air gap should allow the free flow of air from the soffit vents to the attic. None noted

Wall insulation material: • Not visible

Wall insulation amount/value: • Not visible

Wall air/vapor barrier: • Not determined

Foundation wall insulation material: • Not visible

Foundation wall insulation amount/value: • Not visible

Foundation wall air/vapor barrier: • Not determined

Floor above basement/crawlspace insulation material: • Not visible

Floor above basement/crawlspace insulation amount/value: • Not visible

Floor above basement/crawlspace air/vapor barrier: • Not determined

Mechanical ventilation system for building: • None noted

Inspection Methods & Limitations

Inspection limited/prevented by lack of access to: • Attic • Wall space • Floor space • Walls, which were spot checked only

Attic inspection performed: • From access hatch • In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components. • Attics are navigated as best I can; levels of high insulation, HVAC ductwork, framing, and other factors can prevent physical and visual accessibility of some areas and items. The amount of the attic that was able to be safely and visually inspected will be listed as an approximate percentage above. Insulation is not moved or disturbed for visual accessibility of items. The inspection of this area is limited to visual portions only. Any areas that were not visible are excluded from this inspection. There was no flooring, and the insulation is covering the joists. The inspector was unable to safely move all around the attic space completely. The inspector can not risk damage or injury when safe foot placement cannot be seen. If concerned a further evaluation by a specialist can be conducted to provide more information about the condition of the attic space and components.

INSULATION AND VENTILATION

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Roof ventilation system performance: • Not evaluated - The Inspector disclaims confirmation of adequate attic ventilation year-round performance but will comment on the apparent adequacy of the system as experienced by the inspector on the day of the inspection. Attic ventilation is not an exact science and a standard ventilation approach that works well in one type of climate zone may not work well in another. The performance of a standard attic ventilation design system can vary even with different homesite locations and conditions or weather conditions within a single climate zone.

The attic ventilation was reported on by a visual inspection of said ventilation sources, and looking for indications of improper ventilation. Measurements of ventilation sources are beyond the scope of a home inspection and were not conducted. No indications of inadequate ventilation was observed at the time of inspection unless otherwise noted in this report

Air/vapor barrier system: • Continuity not verified

Mechanical ventilation effectiveness: • Not verified

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos, mould, radon gas • Visible mould evaluation and inspection are not included in a standard home inspection report. To determine the presence of mould it must be tested. We do not test for mould. A full evaluation by a specialist is recommended to determine the presence of mould.

Not included as part of a building inspection: • Insulation cannot be disturbed

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Observations & Recommendations

SUPPLY PLUMBING \ Water supply piping in building

Condition: • [Poor support](#)

Tub and shower plumbing and faucet were loose

Implication(s): Leakage | Chance of water damage to structure, finishes and contents

Location: First Floor Bathroom

Task: Repair

Time: As soon as practical



Condition: • Kitec has been the subject of a national class action lawsuit involving certain polybutylene plumbing systems and polybutylene yard service lines installed between 1995 through 2007. Some insurance companies have been known to request removal or disconnection of this plumbing prior to just after possession of the home.

Kitec plumbing noted at the basement

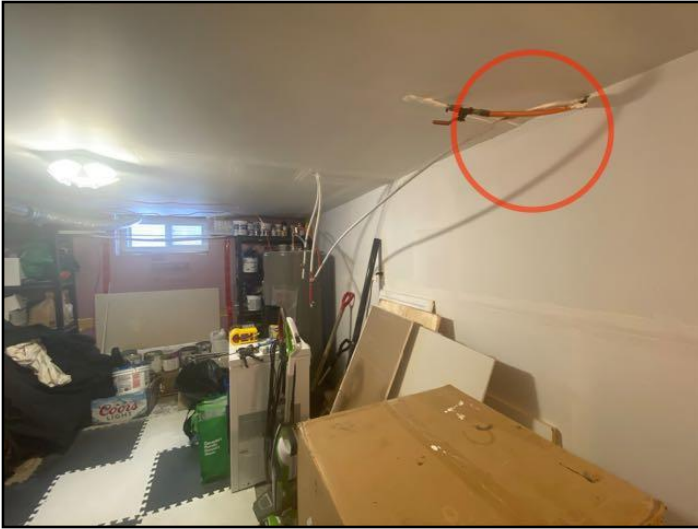
Implication(s): Chance of water damage to contents, finishes and/or structure | Reduced water pressure and volume

Location: Plumbing System

Task: Further Evaluation by a Specialist

Time: Prior to closing of your contingency period

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



WASTE PLUMBING \ Drain piping - installation

Condition: • Galvanized waste plumbing | Recommend replacing with current standard abs piping | Galvanized plumbing can rust and corrode from the inside

Implication(s): Leaking unpredictable | damage to interior and property

Location: Plumbing System

Task: Recommend Upgrade to Current Standard

Time: As needed



FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

Condition: • [Inoperative](#)

Implication(s): Equipment inoperative

Location: Rear Exterior Wall

Task: Repair or Replace

Time: As needed

PLUMBING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



General Information

General:

- General View



Water supply source (based on observed evidence): • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Plastic](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Front of the basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#) • Tank • Owned

Water heater location: • Laundry area • Basement

Water heater fuel/energy source: • This was an electric water heater. This type of water heater uses electric elements to heat water in the tank. These elements can often be replaced when they burn out. With heaters having two heating elements, the lower element usually burns out first. Heating elements should be replaced only by a specialist.

PLUMBING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

RADON

INFRA-RED

MORE INFO

APPENDIX

REFERENCE

Water heater manufacturer: • Rheem

Water heater tank capacity: • [60 gallons](#)

Water heater approximate age: • 5 years

Water heater typical life expectancy: • 10 to 20 years

Hot water temperature (Generally accepted safe temp. is 120° F): • 120° F

Hot water circulating system: • Not present

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [ABS plastic](#) • [Cast iron](#) • [Galvanized steel](#)

Sewer cleanout location: • Basement

Pumps: • None

Floor drain location: • None noted

Water treatment system: • None noted

Backwater valve: • None noted

Exterior hose bibb (outdoor faucet): • Present

Inspection Methods & Limitations

General: • Our inspection of the plumbing system included a visual examination to determine defects, excessive wear, leakage, and general state of repair. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or priva

Inspection limited/prevented by: • Exterior faucet was inoperable

Items excluded from a building inspection: • Well • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Pool • Spa • Water features • Landscape irrigation system

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos, mould and radon gas

Not included as part of a building inspection: • Washing machine connections • Not readily accessible interiors of vent systems, flues, and chimneys • Wells, well pumps, and water storage related equipment • Water conditioning systems • Solar water heating systems • Geothermal water heating systems • Fire extinguishers and sprinkler systems • Landscape irrigation systems • Septic systems • Washer Faucets and Drains are Not Tested Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surfaces are not inspected. Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report. Clothes washing machine connections are not inspected. Interiors of flues or chimneys, which are not readily accessible, are not inspected. Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, on-site private waste disposal systems, swimming pools, foundation drainage systems are not inspected unless explicitly contracted-for and discussed in this or a separate report. The home inspector is not required to determine whether water supply and waste disposal systems are public or private. The home inspector is not required to operate any valve except water closet flush valves, fixture faucets, and hose faucets. City sewer service, septic systems, and all underground

PLUMBING

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

pipes are not a part of this inspection. Underground pipes or pipes inside walls cannot be judged for sizing, leaks or corrosion. The adequacy of pipe sizes for supply and or waste piping is not part of this inspection. • Sewer and sewer lines • Waste backflow valves are not tested during a home inspection

INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Observations & Recommendations

WINDOWS \ Glass (glazing)

Condition: • Condensation between the glass thermal pane indicates that the seal has failed. Insulating performance may not suffer significantly but repair or replacement of the failed unit will likely be necessary to clear up the condensation and return the unit to its intended efficiency.

Right Side Second Floor Bedroom | First floor living room

Location: Various Windows

Task: Repair or Replace

Time: As needed



WINDOWS \ Sashes

Condition: • Sashes did not fully seat into the sill | This will not allow the locks to operate and leaves minor air / heat loss

Location: Various | First floor bathroom - Living room

Task: Repair or Replace

Time: As needed

INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

RADON

INFRA-RED

MORE INFO

APPENDIX

REFERENCE

WINDOWS \ Hardware

Condition: • [Broken](#)

Implication(s): System inoperative or difficult to operate

Location: Front First Floor Living Room

Task: Repair or Replace

Time: As needed



WINDOWS \ Means of egress/escape

Condition: • [Learn more about window egress requirements](#)

Implication(s): Fire hazard | Safety Hazard

Condition: • [Too small](#)

Window well appeared too small for egress

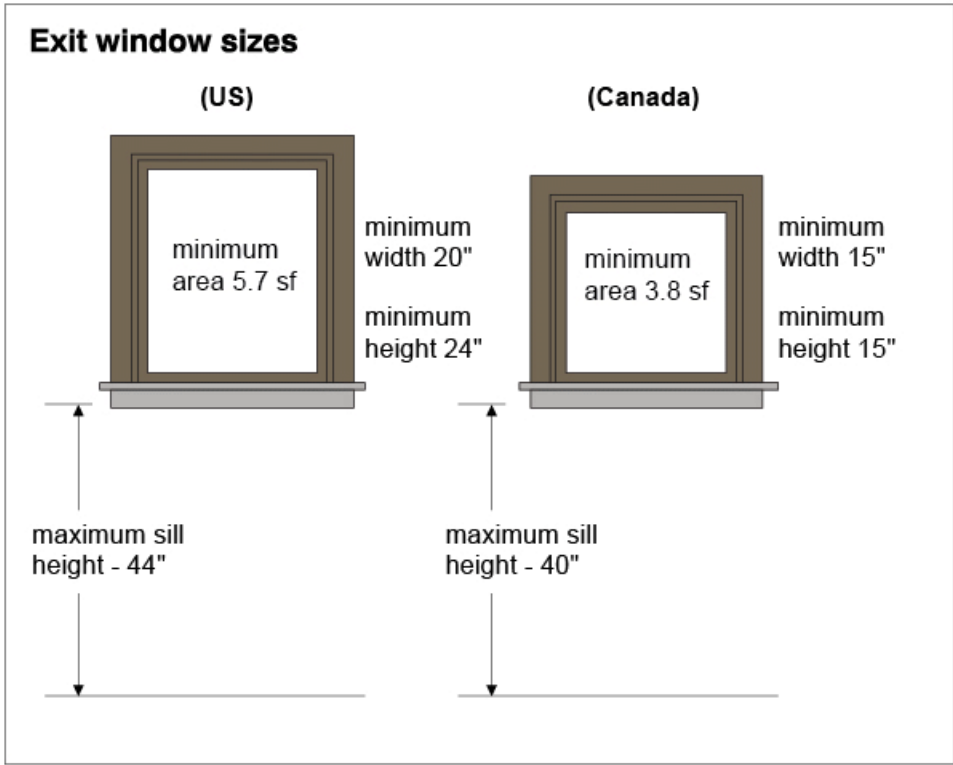
Implication(s): Restricted emergency exits

Location: Basement Bedroom Egress

Task: Recommend Upgrade to Current Standard

Time: As needed

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



Condition: • [Too small](#)

Implication(s): Restricted emergency exits

Location: Front Second Floor Bedroom

Task: Recommend Upgrade to Current Standard

Time: As needed

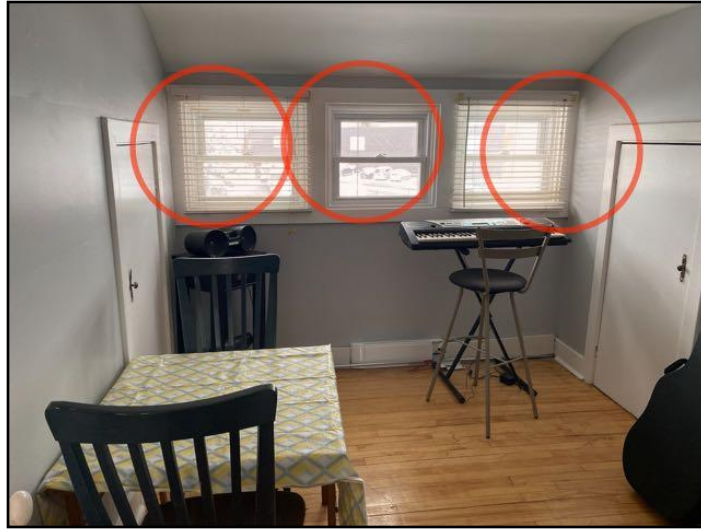
INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



STAIRS \ Handrails and guards

Condition: • This staircase had no handrail installed. This condition is a potential fall hazard. In order to comply with generally accepted current standards which require a handrail at staircases with 4 or more risers, this staircase would need a handrail installed.

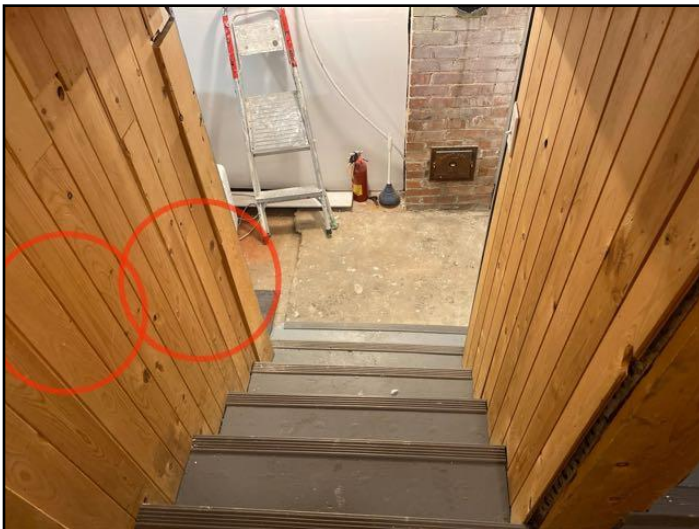
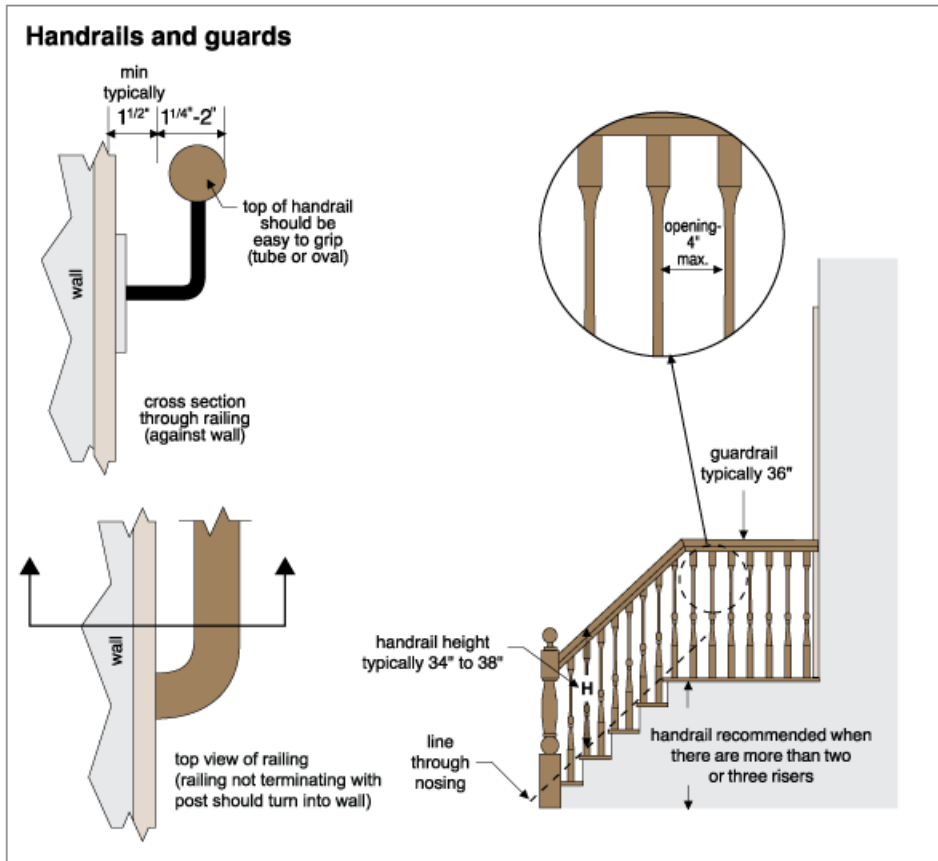
Implication(s): Fall hazard

Location: Rear Basement Stairs

Task: Provide

Time: As needed

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



EXHAUST FANS \ General notes

Condition: • [Missing](#)

Second floor did have a window for limited ventilation

Implication(s): Chance of condensation damage to finishes and/or structure

INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

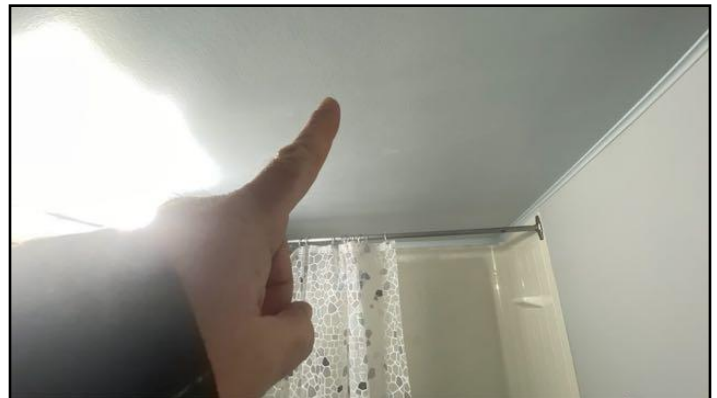
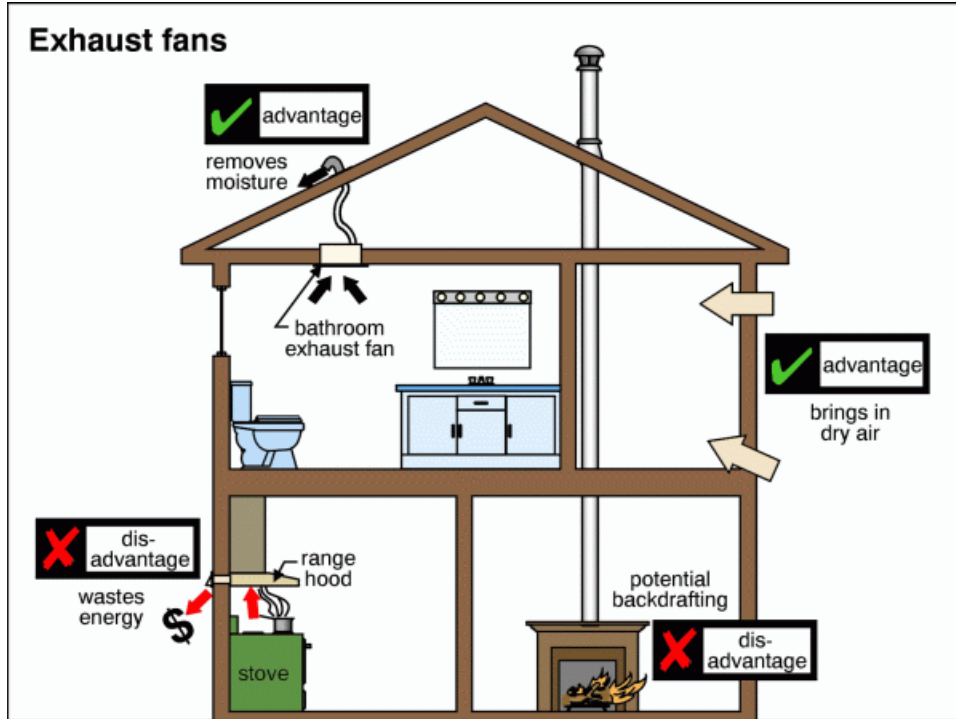
www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Location: Basement and Main Floor Bathrooms

Task: Provide

Time: As needed



INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



EXHAUST FANS \ Kitchen range exhaust system (range hood)

Condition: • No range hood or exhaust system was installed at the time of the inspection. The Inspector recommends that an exhaust hood or air filtration system be installed to prevent possible moisture damage and grease accumulation on walls and ceiling adjacent to the range.

Implication(s): Hygiene issue

Location: Basement Kitchen

Task: Provide

Time: As needed

INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



General Information

Major floor finishes: • [Hardwood](#) • [Laminate](#) • Ceramic/porcelain

Major wall finishes: • [Plaster/drywall](#) • [Paneling](#)

Major ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Windows: • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • [Casement](#) • Vinyl • A representative number of interior windows were evaluated

Glazing:

- [Double](#)
- [Primary plus storm](#)

Porch

Exterior doors - type/material: • Hinged • [Wood](#) • [Metal](#)

Doors: • A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. If adverse conditions, defects, and or reportable conditions were present at the time of inspection it will be noted in this recommendation section of the report.

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator • Range hood • Dishwasher • Microwave oven • Door bell • Microwave/Exhaust Fan Combo • Range

Laundry facilities: • Washer • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Kitchen ventilation: • Range hood - recirculating type

Bathroom ventilation: • Window

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected • A representative number of interior cabinets and drawers were evaluated

Stairs and railings: • Inspected

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Inspection Methods & Limitations

General: • Inspection of the home interior does not include testing for radon, mould, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection. Inspection of the home interior typically includes: ROOMS interior wall, floor and ceiling coverings and surfaces; doors: condition, hardware, and operation; windows: condition, hardware, and operation; permanently-installed furniture, countertops, shelving, and cabinets; and light fixtures. ELECTRICAL switches; receptacles; and light fixtures. INTERIOR TRIM door casing; window casing, sash, and sills; baseboard; and moulding (crown, wainscot, chair rail, etc.)

While we strive to prepare an accurate report of the condition of the property at the time of the inspection, it is virtually impossible to compile an exhaustive or definitive list of every cosmetic defect in the home due to the time-limited nature of a home inspection. If the home inspected is occupied during the inspection then furniture, wall coverings, window treatments or owners belongings may be hiding damage. Renovation of this property, or any part of this property, may expose additional defects, which were not noted or were not visible at the time of the inspection.

Inspection limited/prevented by: • Storage/furnishings • Storage in closets and cabinets / cupboards • The windows were inspected by operating a representative number (I will try and operate every window in the home, but personal belongings may block accessibility to some). They are inspected by testing their operation, looking for damage, broken glass, failed seals, etc. If adverse conditions, defects, and or reportable conditions were present at the time of inspection it will be noted in this recommendation section of the report. • As prescribed in the pre-inspection agreement, this is a visual inspection only. Assessing the quality and condition of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and colour are outside the scope of this inspection. Comments will be general, except where functional concerns exist. No comment is offered on the extent of cosmetic repairs that may be needed after removal of existing wall hangings and furniture. Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects. Determining the condition of insulated windows unless visually apparent at the time of the inspection is not possible due to temperature, weather and lighting variations. Please refer to the pre-inspection agreement for a full explanation of the scope of the inspection.

Restricted access to: • Basement • Utility room • Closets and cabinets / cupboards

Not tested/not in service: • Exterior faucet

Not included as part of a building inspection: • Security systems and intercoms • Central vacuum systems • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Decorative items • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos • Paint, wallpaper, and other finishes • Floor coverings • Window treatments • Window coatings and seals between panes of glass • Accurately addressing the severity of settlement crack(s) and their direct cause is beyond the scope of a home inspection as I have no knowledge of how long the cracking has been in place, whether or not it has been recently active, and what conditions may have contributed to its formation. I will report on the visual condition of cracking at the time of inspection. Only a foundation contractor or structural engineer (P.E.) can determine the severity and cause of settlement or settlement cracks and they should be consulted as desired. • The inspector is unable to determine if all glazed insulated windows in this property are completely intact and without compromised seals. Conditions indicating a broken seal are not always visible or present and may not be apparent or visible at the time of inspection. Changing conditions such as temperature, humidity, and lighting limit the ability of the inspector to visually review these windows for broken seals. For more complete information on the condition of all glazed windows, consult the seller prior to closing.

Cosmetics: • No comment offered on cosmetic finishes

INTERIOR

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Appliances: • Appliances are not inspected as part of a building inspection • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection • A dryer vent connection was installed in the laundry room. Although the Inspector operated the dryer briefly, the dryer vent was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. • The General Home Inspection testing of ovens does not include testing of all oven features, but is limited to confirmation of bake and broil features. You should ask the seller about the functionality of any other features.

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement severely limited inspection

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos. • Mould • Radon

SITE INFO

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

General Information

Final Check List: • The general site tab is for informational purposes only. Much of the information is taken from the online listing information and not meant to replace or contradict the actual inspection report. For example: the online listing may note 3+1 Bedrooms. The inspector may note that the +1 basement bedroom does not have egress windows and therefore is 3 bedrooms. The General Site tab will note what the home is being used for, meaning it will state 4 bedrooms. The inspection report will note the egress windows deficiency.

Weather: • Overcast • It was snowing at the time of the inspection. • There was snow on the ground. • There was snow on the roof.

Approximate temperature: • -8°

Attendees: • Seller left before the inspection was complete. • Buyer's Agent • Seller's Agent left before the inspection was complete.

Access to home provided by: • Seller's representative • Buyer's representative

Occupancy: • The home was occupied at the time of the inspection. • The home was furnished during the inspection.

Utilities: • All utilities were on during the inspection. • The water service is public. • The plumbing waste disposal system is public.

Approximate inspection Start time: • The inspection started at 11:00 a.m.

Approximate inspection End time: • The inspection ended at 1:00 p.m.

Approximate age of home: • 70 to 80 years

Approximate date of construction: • 1950 to 1960

Approximate size of home: • 1500 ft.² to 2000 ft.²

Building type: • Detached home • Guest suite

Number of dwelling units: • Single-family

Number of stories: • One and a half

Number of rooms: • Nine

Number of bedrooms: • Three

Number of bathrooms: • Three

Number of kitchens: • Two

Below grade area: • Basement

Area: • Suburb

Street type: • Residential • Commercial

Street surface: • Paved

SITE INFO

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Inspection Methods & Limitations

General: • The general site tab is for informational purposes only. Much of the information is taken from the online listing information and not meant to replace or contradict the actual inspection report. For example: the online listing may note 3+1 Bedrooms. The inspector may note that the +1 basement bedroom does not have egress windows and therefore is 3 bedrooms. The General Site tab will note what the home is being used for, meaning it will state 4 bedrooms. The inspection report will note the egress windows deficiency.

RADON

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

General Information

General: • Radon Test not requested at the time of inspection

INFRA-RED

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

General Information

General: • Thermal images included in this inspection report are provided as a courtesy, are limited to certain portions of the home and should not be considered as part of a full-home thermal imaging inspection. The inspector chooses the portions of the home to be scanned or photographed and photographs are included in the report at the Inspector's sole discretion.

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

General Information

General: • [Read our Standards of Practice](#)

This document sets out what a professional home inspection should include, and guides the activities of our inspectors. • Additional Important Information This section provides information on topics beyond the scope of home inspection including asbestos, radon, urea formaldehyde foam insulation, lead, carbon monoxide, household pests and mould. • Cost and Repair Estimates Ballpark estimates based on a typical three-bedroom home.

GOOD ADVICE FOR ALL HOMEOWNERS: • The following items apply to all homes and explain how to prevent and correct some common problems. • [Read About When Things Go Wrong](#)

Unpleasant surprises are unfortunately part of homeownership. This document helps to explain why things happen and why your home inspector may not have predicted it. • [Your Regular Maintenance Plan](#)

Scheduled maintenance can avoid repairs and extend the life expectancy of many home components. This document helps you look after your home.

Roof Leaks: • Roofs may leak at any time. Leaks often appear at roof penetrations, flashings, changes in direction or changes in material. A roof leak should be addressed promptly to avoid damage to the structure, interior finishes and furnishings. A roof leak does not necessarily mean the roof has to be replaced.

Annual Roof Maintenance: • We recommend an annual inspection and tune-up to minimize the risk of leakage and to maximize the life of your roof.

Ice Dams on Roofs: • [Most roofs are susceptible to ice dams under the right weather conditions. This is where ice forms](#) at the lower edge of a sloped roof, causing melting water from above to back up under the shingles. We cannot predict which roofs will suffer the most damage under adverse weather.

Maintaining the Exterior of Your Home: • Regular maintenance includes painting and caulking of all exterior wood. Trees and shrubs should be kept trimmed away from the walls and roof to prevent vermin access and mechanical damage. • Care should be taken with lawn sprinkler systems (irrigation systems). These can wet and damage exterior walls and cause leakage problems into basements and crawlspaces. Water should not be directed against or adjacent to the building.

Heating and Cooling System - Annual Maintenance: • An annual maintenance agreement that covers parts and labour is recommended for all heating and cooling equipment. Humidifiers and electronic air cleaners should be included in the service agreement. The first service visit should be arranged as soon as possible, preferably before equipment is used. • Filters for furnaces and air conditioners should be checked monthly during the operating season and changed when they are dirty. Duct systems should be balanced during regular servicing for maximum comfort. Systems with heating and air conditioning require different balance setups for summer and winter. • For boiler/hot water systems, we recommend that any balancing or adjusting of radiator valves be performed by a specialist, due to the risk of leakage. Heating system valves are not operated during a home inspection. • Gas fireplaces and heaters should be included in annual service plans with gas furnaces, boilers or water heaters. • Mini Split heat pumps require regular maintenance. It is highly recommended that upon purchase of your home that you schedule to have your mini split cleaned professionally by HydroKleen. In addition to normal accumulations of dust and dirt found in all homes with air ducts, there are several other factors that can increase the need for regular HVAC system cleaning: pets occupants with allergies or asthma cigarette or cigar smoke water contamination or damage to the home or HVAC system home renovation or remodelling projects Some occupants are more sensitive to these contaminants than others. Allergy and asthma sufferers, as well as young children and the elderly, tend to be more susceptible to the types of poor indoor air quality that air duct cleaning can help address. • Natural gas boilers with draft hoods (<300,000 BTUs, which is 95% of house boilers) need to be inspected a nd tested annually by law to make sure carbon monoxide is not entering the home. Please ensure that this work is

MORE INFO

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

included as part of your annual boiler maintenance.

Fireplace and Wood Stove Maintenance: • Wood burning appliances and their chimneys should be inspected and cleaned before you use them the first time and annually thereafter. We recommend specialists with WETT (Wood Energy Technology Transfer) designations for this kind of work.

Electrical System - Label the Panel: • The electrical panel should be labelled to indicate what is controlled by each fuse or breaker. Where the panel is already labelled, please verify the labelling is correct. Do not rely on the labelling being accurate.

Insulation Amounts - Current Standards: • Current standards for insulation in new construction are outlined below: • Attic and roof space: R-40 (R-50 if electric heat) • Attic and roof space: R-50 • Floors above garages and other unheated areas: R-25 • Cathedral roof: R-28 • Walls: R-19 (R-29 if electric heat) • Basement/crawlspace walls: R-12 (R-19 if electric heat)

Reduce Air Leaks: • Insulation is not effective if air (and the heat that goes with it) can escape from the home. Caulking and weather-stripping help control air leakage, improving comfort while reducing energy consumption and costs. Air leakage control improvements are inexpensive and provide a high return on investment.

Bathtub and Shower Maintenance: • Caulking and grout in bathtubs and showers should be checked every six months and improved as necessary to prevent leakage and damage behind wall surfaces.

Basement/Crawlspace Leakage: • Almost every basement (and crawlspace) leaks under the right conditions. • [Click for more information.](#)

MORE GOOD ADVICE FOR ALL HOMES: • Here is some more information that applies to all homes.

Washing Machine Hoses: • We suggest braided steel hoses rather than rubber hoses for connecting washing machines to supply piping in the home. A ruptured hose can result in serious water damage in a short time, especially if the laundry area is in or above a finished area of the home.

Smoke and Carbon Monoxide (CO) Detectors: • Smoke and carbon monoxide (CO) detectors should be provided at every floor level of every home, including basements and crawl spaces. (Even if they are present during the inspection, we recommend replacing detectors.) Smoke detectors should be close to sleeping areas, and carbon monoxide detectors should be in any room with a wood-burning stove or fireplace. These devices are not tested as part of a home inspection. Once you take possession of the home, detectors should be tested regularly, and replaced every 10 years. If unsure of the age of a smoke detector, it should be replaced. Smoke detector batteries should be replaced annually.

Clothes Dryer Vents: • We recommend vents for clothes dryers discharge outside the home, and the vent material should be smooth walled (not corrugated) metal, and the run should be as short and straight as practical. This reduces drying time, energy consumption and cost; and minimizes the risk of a lint fire inside the vent.

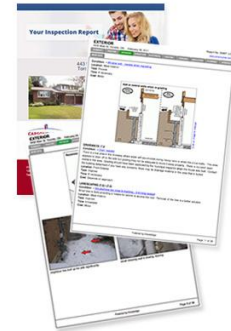
MORE GOOD INFORMATION: • The following links give you access to documents that provide additional information on a range of topics.

END OF REPORT

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				

Reading Your Report

The purpose of the report is to help a prospective buyer make an informed decision about the house they are interested in. The report will document the current condition, and identify any impending repairs, based on a visual inspection of the home.



How the report works

This report provides a comprehensive package which simplifies buying and owning a home. The report can identify things at a glance, or provide in-depth explanations. It can identify maintenance items and can even act as a work order for contractor repairs.

Easy to navigate and find information.

Tabs for each home system are labeled and color coded at the top of the report pages, clicking on any tab will take you directly to that system or scroll through page by page.

Easy to read and understand.

This report is organized in 3 layers

1. Provide the BIG picture!

An executive summary addressing significant issues to help you make a purchasing decision. You should read the full report to get the whole picture.

2. Once you've moved in!

Outline of major and minor issues, where appropriate helping to protect your investment.

3. When you need the precise details!

Color illustrations and links to reference articles helping you understand all of the components of your house.

Added benefits:

- Electronic .PDF file report is secure and universally readable on any computer (free Adobe reader available online). Print if you want.
- Clear, colorful illustrations to exemplify conditions.
- Articles that explain technical issues in plain words.
- It's Green! Environmentally friendly, ink and paper free report.

- A SUMMARY
- ROOFING
- EXTERIOR
- STRUCTURE
- ELECTRICAL
- HEATING
- COOLING
- INSULATION
- PLUMBING
- INTERIOR
- SITE INFO
- RADON
- INFRA-RED
- MORE INFO
- APPENDIX
- REFERENCE

Report features

- You will receive an email with your Inspection Report Link. Click to open.
- Save your report to your computer or CDrom. View anytime using Adobe reader.
- Print or email the report as needed.

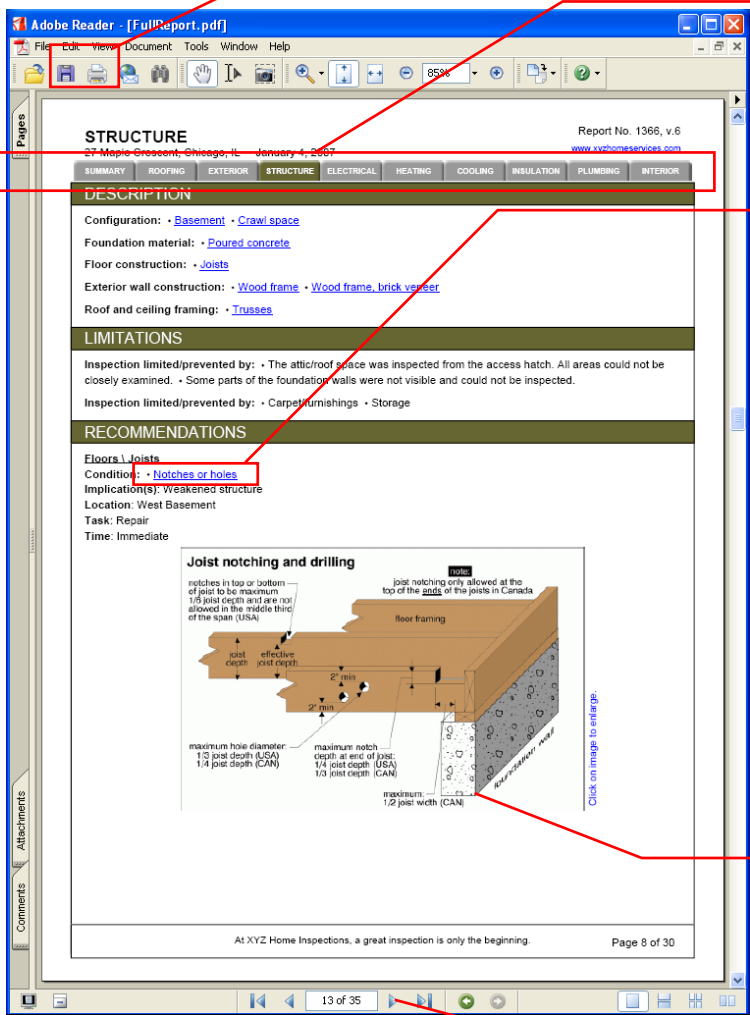
Print or Save a copy of your report to your computer.

Click any of the Color coded tabs to navigate to a section of the report.

'Click' on Hyperlinks to open technical articles for detailed information.

Full color illustrations. Click to enlarge image.

Navigate page by page.



A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



Report Conclusion & Walk Through

CONCLUSION:

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every problem. Also because our inspection is essentially visual, latent defects could exist. We cannot see behind walls. Therefore, you should not regard our inspection as a guarantee or warranty. It is simply a report on the general condition of a property at a given point in time. As a homeowner, you should expect problems to occur. Roofs will leak, basements may have water problems, and systems may fail without warning. We cannot predict future events. For these reasons, you should keep a comprehensive insurance policy current.

This report was written exclusively for our Client. It is not transferable to other people. The report is only supplemental to a seller's disclosure.

Thank you for taking the time to read this report, and call us if you have any questions. We are always attempting to improve the quality of our service and our report.

PRE-CLOSING WALK THROUGH:

The walk-through prior to closing is the time for Client to inspect the property. Conditions can change between the time of a home inspection and the time of closing. Restrictions that existed during the inspection may have been removed for the walk-through. Defects or problems that were not found during the home inspection may be discovered during the walk-through. Client should be thorough during the walk-through.

Any defect or problem discovered during the walk-through should be negotiated with the owner/seller of the property prior to closing. Purchasing the property with a known defect or problem releases East Coast Home Inspection Ltd of all responsibility. Client assumes responsibility for all known defects after settlement.

The following are recommendations for the pre-closing walk through of your new house. Consider hiring a certified home inspector to assist you.

1. Check the heating and cooling system. Turn the thermostat to heat mode and turn the temperature setting up. Confirm that the heating system is running and making heat. Turn the thermostat to off and wait 20 minutes. Turn the thermostat to cool mode and turn the temperature setting down. Confirm the condenser is spinning and the system is making cool air. The cooling system should not be checked if the temperature is below 60 degrees or if the temperature was below freezing the night before the walk-through. And you should not operate a heat pump in the heating mode when it is over 75 degrees outside.
2. Operate all appliances.
3. Run water at all fixtures and flush toilets. Look for plumbing leaks.
4. Operate all exterior doors, windows, and locks.
5. Test smoke and carbon monoxide detectors.
6. Ask for all remote controls to any garage door openers, fans, gas fireplaces, etc.
7. Inspect areas that may have been restricted at the time of the inspection.
8. Ask seller questions about anything that was not covered during the home inspection.
9. Ask seller about prior infestation treatment and warranties that may be transferable.
10. Read the seller's disclosure.

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SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



The Human Factor

Dear Future Home-Owner,

Thank you again for bringing us into your home-buying process and letting us help you through this time. We hope as you go over the report and the house during your decision that you will keep a few practical things in mind. Simply, our inspectors are human and do make errors on rare occasion. As you consider the following factors, know that we will seek to make the situation right and your experience with us a successful one.

Intermittent or Concealed Problems:

Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No Clues:

These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We May Miss Some Minor Things:

It is subjective to say what can be considered a major or minor issue. It might seem inconsistent that some minor problems are identified, but not others. But the truth is that the minor problems that are identified are often discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$2,000 problems. These are the things that affect people's decisions to purchase.

Contractor's Advice:

A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractor's opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

'Last Man In Theory' & 'Most Recent Advice' Theory:

While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the 'last man in' theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. Additionally, it is natural for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of first man in and consequently it is our advice that is often disbelieved.

<p>Our Office 38 McManus Street Hampton, NB E5N 7N5 Canada</p>	<p>East Coast Home Inspection Ltd (506) 651-9461 hq@theinspectors.ca www.theinspectors.ca</p>	<p>Follow us on Facebook Twitter Google+</p>
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SITE INFO	RADON	INFRA-RED	MORE INFO	APPENDIX	REFERENCE				



Most Contractors Do Not Understand the Standards of Practice

All of our inspections are conducted in accordance with the Standards of Practice of the National Association of Certified Home Inspectors. It specifically states what is included and excluded from the standard home inspection and most contractors do not fully realize the scope and limitations of a 'Standard Home Inspection'

Conditions during the Inspection

It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.

The Wisdom of Hindsight

When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2 feet of water on the floor. Predicting the problem is a different story.

A Long Look:

If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.

We're Generalists:

We are generalists; we are not directly specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.

An Invasive Look:

Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not Insurance:

In conclusion, a home inspection is designed to better your odds of not purchasing a home with serious issues. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

If you have any further concerns, please do not hesitate to reach out to me via email or call.

Yours Sincerely,

Jonathan Cogan

on behalf of East Coast Home Inspection Ltd.

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APPENDIX

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

www.theinspectors.ca

A SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Our 90 Day Guarantee

We are proud to offer our 90 Day 100% Satisfaction Guarantee. Our guarantee is simple. If you not happy with our service we'll pay the competition to inspect it.

From the date of the inspection you have our 90 day guarantee that if you are not fully satisfied with our service, and if after every effort has been made to meet your expectations, you are not completely satisfied. We will pay a competitor in the area of your choice to conduct your home inspection.



Jonathan Cozart
Owner / Inspector



REFERENCE LIBRARY

222 Somewhere Rd, Saint John, NB December 4, 2023

Report No. 3517

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS

